



Rizzetta & Company

Waters Edge Community Development District

**Board of Supervisor's Meeting
March 28, 2024**

**District Office:
5844 Old Pasco Road, Suite 100
Wesley Chapel, Florida 33544
813.994.1001**

www.watersedgeccd.org

WATERS EDGE COMMUNITY DEVELOPMENT DISTRICT

The Waters Edge Clubhouse
9019 Creedmoor Lane, New Port Richey, FL 34654

www.watersedgecdd.org

Board of Supervisors	Teri Geney George Anastasopoulos Gabriel Papadopoulos Timothy Haslett Jason Peterson	Chairman Vice Chairman Assistant Secretary Assistant Secretary Assistant Secretary
District Manager	Matthew Huber	Rizzetta & Company, Inc.
District Counsel	John Vericker	Straley Robin & Vericker
District Engineer	Frank Nolte	Stantec

All cellular phones must be placed on mute while in the meeting room.

The Audience Comment portion of the agenda is where individuals may make comments on matters that concern the District. Individuals are limited to a total of three (3) minutes to make comments during this time.

Pursuant to provisions of the Americans with Disabilities Act, any person requiring special accommodations to participate in this meeting / hearing / workshop is asked to advise the District Office at least forty-eight (48) hours before the meeting / hearing / workshop by contacting the District Manager at (813) 933-5571. If you are hearing or speech impaired, please contact the Florida Relay Service by dialing 7-1-1, or 1-800-955-8771 (TTY) 1-800-955-8770 (Voice), who can aid you in contacting the District Office.

A person who decides to appeal any decision made at the meeting/hearing/workshop with respect to any matter considered at the meeting/hearing/workshop is advised that person will need a record of the proceedings and that accordingly, the person may need to ensure that a verbatim record of the proceedings is made including the testimony and evidence upon which the appeal is to be based.

WATER'S EDGE COMMUNITY DEVELOPMENT DISTRICT

District Office · Wesley Chapel, Florida · (813) 994-1001
Mailing Address – 3434 Colwell Avenue, Suite 200, Tampa, Florida 33614
www.watersedgecdd.org

Board of Supervisors
Water's Edge Community
Development District

3/21/2024

AGENDA

Dear Board Members:

The regular meeting of the Board of Supervisors of the Water's Edge Community Development District will be held on **Thursday, March 28, 2024 at 5:00 p.m. at the Water's Edge Clubhouse, located at 9019 Creedmoor Lane, New Port Richey, FL 34654**. The following is the agenda for this meeting.

1. **CALL TO ORDER/ROLL CALL**
2. **AUDIENCE COMMENTS ON AGENDA ITEMS**
3. **STAFF REPORTS**
 - A. Aquatics Manager
 1. Presentation of Monthly Aquatics Report..... Tab 1
 - B. District Engineer Report..... Tab 2
 - C. District Counsel
 - D. PSA Inspection Reports
 2. March Report..... Tab 3
 3. ASI Irrigation Inspection Report..... Tab 4
 - E. District Manager
4. **BUSINESS ITEMS**
 - A. Consideration of Mulch Proposals Tab 5
 - B. ASI Proposal for Wall Cutbacks Tab 6
 - C. Update on SWFWMD WUP Permit Reporting Notice Tab 7
 - D. Update on Well Repairs & Well Pump Maintenance Proposal
 - E. Update on Chlorine Injection Pump and Chlorine Tab Maintenance
5. **BUSINESS ADMINISTRATION**
 - A. Consideration of Minutes of the Board of Supervisors' Regular Meeting held on February 22, 2024..... Tab 8
 - B. Consideration of Operation and Maintenance Expenditures For February 2024 Tab 9
6. **AUDIENCE COMMENTS AND SUPERVISOR REQUESTS**
7. **ADJOURNMENT**

We look forward to seeing you at the meeting. In the meantime, if you have any questions, please do not hesitate to call us at (813) 933-5571.

Sincerely,
Matthew Huber

Matthew Huber
District Manager

Tab 1



MONTHLY REPORT

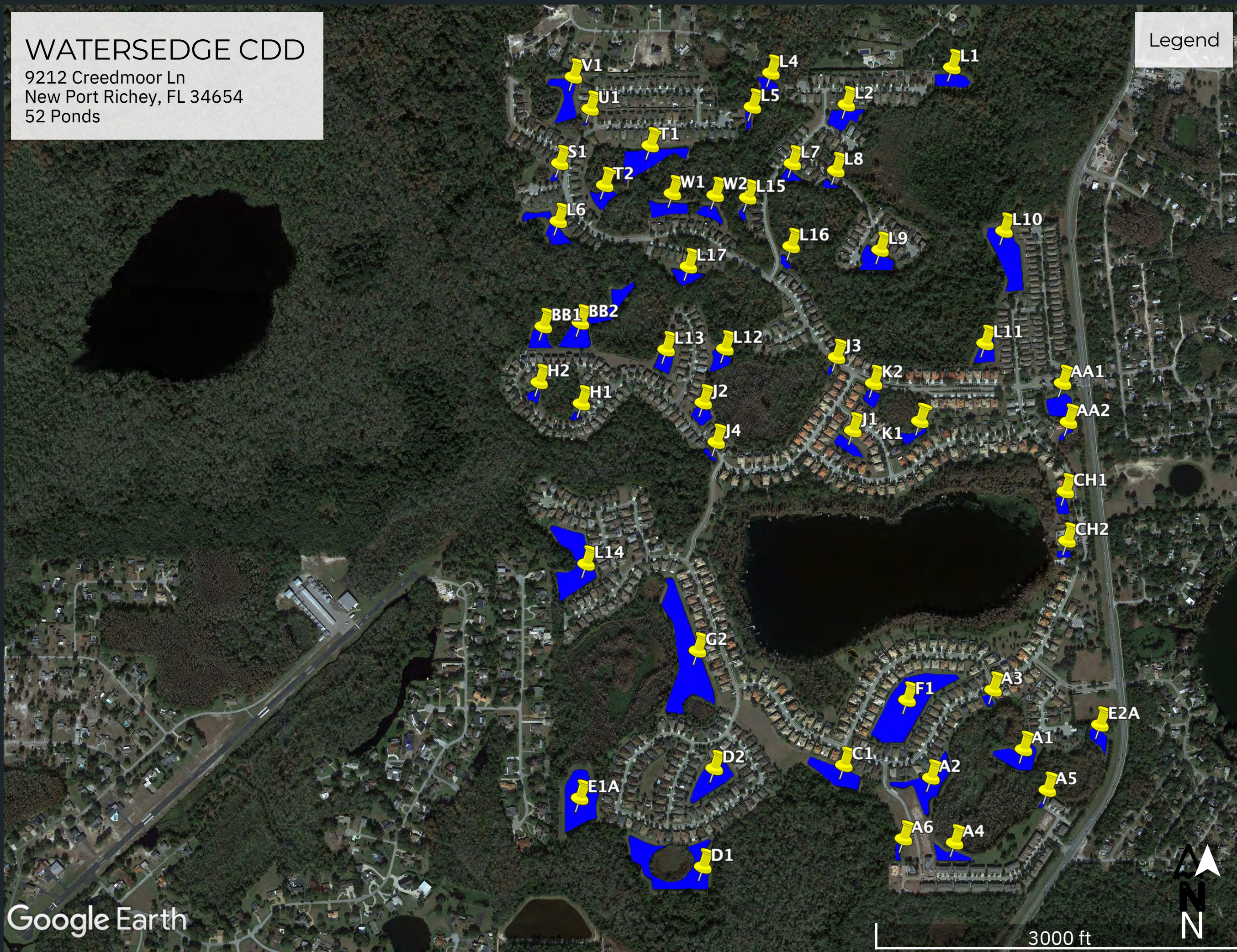
MARCH, 2024



WATERSEEDGE CDD

9212 Creedmoor Ln
New Port Richey, FL 34654
52 Ponds

Legend



Google Earth

3000 ft

Prepared for: Matt Huber
Prepared By: Devon Craig

SUMMARY:

With a few warm days the last couple weeks there have been a few minor algae blooms in the ponds as a result of the air temperatures heating up. As we move into spring we anticipate an increase in algae blooms as well as submersed growth. Our team will be active doing prevent applications as well as call back services. We are in great shape going int spring.



Pond #L8 Treated for Shoreline Vegetation.



Pond #L7 Treated for Algae and Shoreline Vegetation.



Pond #L16 Treated for Shoreline Vegetation.

Feb 22, 2024 at 10:44
11161 Belle Ha
New Port Richey FL
United



Pond #T2 Treated for Shoreline
Vegetation.

Feb 22, 2024 at 10:08
11430 Bathg
New Port Richey FL
United



Pond #L4 Treated for Algae and
Shoreline Vegetation.

Feb 22, 2024 at 10:00
11538 Bathg
New Port Richey FL
United



Pond #L9 Treated for Shoreline
Vegetation.



Pond #T1 Treated for Algae and Shoreline Vegetation.



Pond #A6 Treated for Shoreline Vegetation.



Pond #C1 Treated for Algae and Shoreline Vegetation.



Jan 26, 2024 at 11:55:44 AM
9403 Beaufort Ct
New Port Richey FL 34654
United States

Pond #L10 Treated for Algae and Shoreline Vegetation.



Feb 22, 2024 at 12:00
11228 Bidde
New Port Richey FL
United

Pond #G2 Treated for Algae and Shoreline Vegetation.



Feb 22, 2024 at 1:46
8632 Creedm
New Port Richey FL
United

Pond #A3 Treated for Shoreline Vegetation.



Pond #K2 Treated for Algae and Shoreline Vegetation.



Pond #AA1 Treated for Algae and Shoreline Vegetation.



Pond #F1 Treated for Algae and Shoreline Vegetation.

AA1: Was treated for Algae and shoreline vegetation.

AA2: Was treated for shoreline vegetation.

CH1: Was treated for shoreline vegetation.

CH2: Was treated for shoreline vegetation.

A1: Was treated for shoreline vegetation.

A2: Was treated for shoreline vegetation.

A3: Was treated for shoreline vegetation.

A4: Was treated for shoreline vegetation.

A5: Was treated for shoreline vegetation.

A6: Was treated for shoreline vegetation.

E2A: Was treated for shoreline vegetation.

F1: Was treated for shoreline vegetation.

C1: Was treated for Algae and shoreline vegetation.

D1: Was treated for shoreline vegetation.

D2: Was treated for shoreline vegetation.

E1A: Was treated for shoreline vegetation.

G2: Was treated for Algae and shoreline vegetation.

L1: Was treated for shoreline vegetation.

L2: Was treated for shoreline vegetation.

L4: Was treated for shoreline vegetation.

L5: Was treated for shoreline vegetation.

L6: Was treated for shoreline vegetation.

L7: Was treated for shoreline vegetation.

L8: Was treated for Algae and shoreline vegetation.

L9: Was treated for shoreline vegetation.

L10: Was treated for Algae and shoreline vegetation.

L11: Was treated for shoreline vegetation.
L12: Was treated for shoreline vegetation.
L13: Was treated for shoreline vegetation.
L14: Was treated for shoreline vegetation.
L16: Was treated for shoreline vegetation.
L17: Was treated for Algae and shoreline vegetation.
J1: Was treated for shoreline vegetation.
J2: Was treated for Algae and shoreline vegetation.
J3: Was treated for shoreline vegetation.
J4: Was treated for shoreline vegetation.
K1: Was treated for shoreline vegetation.
K2: Was treated for Algae and shoreline vegetation.
H1: Was treated for shoreline vegetation.

H2: Was treated for Algae and shoreline vegetation.

BB1: Was treated for shoreline vegetation.

BB2: Was treated for shoreline vegetation.

S1: Was treated for shoreline vegetation.

T1: Was treated for Algae and shoreline vegetation.

T2: Was treated for shoreline vegetation.

U1: Was treated for shoreline vegetation.

V1: Was treated for shoreline vegetation.

W1: Was treated for Algae and shoreline vegetation.

W2: Was treated for shoreline vegetation.

Tab 2

Waters Edge Community Development District Engineer's Report:**Outfall Clearing and Erosion Restoration – Bellehaven Drive at Shelter Cove Loop**

- Stantec recommends restoring the eroded embankment back to its original condition, clearing overgrown vegetation at the outfall, and installing rip rap to prevent future blockages.
- We received one proposal for this work.

Pond L5 Erosion Review

- Stantec reviewed reported erosion at 18" outfall at Pond L5.
- We received one proposal for this work.

Waters Edge 1 O&M Permit 26810.000 – Phases 1, 5 and 6

- SWFWMD Permit is due for renewal before 9/30/2024.
- Stantec staff performed inspection on February 6th.
- Report of findings and recommended maintenance items are attached.
- We received one proposal for this work.

Waters Edge Perimeter Wall Painting and Repairs

- Stantec held pre-bid meeting on February 6th. 3 potential contractors attended and walked the site to review existing conditions.
- Specialized Services Group was selected.
- Met with ASI to review wall areas for landscape removal.
- Awaiting signed agreement from Specialized Services Group. Tentatively scheduling Pre-Construction meeting during week of March 25th.

ESTIMATE

Finn Outdoor
730 20th Ave N
Saint Petersburg, FL 33704

robb@finnoutdoor.com
(813)957-6075



Waters Edge CDD

Bill to
Waters Edge CDD

Ship to
Waters Edge CDD

Estimate details

Estimate no.: 2137
Estimate date: 03/19/2024

#	Date	Product or service	SKU	Qty	Rate	Amount
1.		Drainage Maintenance Pond A2 -- Remove detached FES pipe section, rebuild base with #57 limestone and high clay content soil, replace and reseal pipe section, restore surrounding pond bank (approx 4x8').		1	\$2,700.00	\$2,700.00
2.		MES Maintenance Pond T2 -- Remove broken corner of MES, install rebar dowels into remaining section, repour concrete corner, fill and compact under MES with #57 stone and clay soil mixture, install filter fabric and rip rap surrounding MES		1	\$1,800.00	\$1,800.00
3.		Control Structure Maintenance Pond T2 -- Replace 7 deteriorating wood posts with 7 fiberglass or aluminum posts on skimmer		1	\$2,400.00	\$2,400.00
4.		Drainage Maintenance Bellhaven Dr / Outfall 12-73A -- Clear all vegetation and sediment within 6 feet of outfall, Install filter fabric and rip rap to prevent future erosion; Install 2" of compacted topsoil and Bahia sod throughout the eroding area (approx 400 sq ft) near inlet as outlined.		1	\$12,000.00	\$12,000.00
5.		Drainage Maintenance Pond L10 -- Remove vegetation and silt buildup from around the outfall structure FES (L10) 10' in every direction to create a positive discharge to the downstream wetland		1	\$950.00	\$950.00
6.		O and M Items OSC -K -- Remove 12" of sediment within 6' of control structure. Install rip rap 6' in every direction around the structure to prevent future sediment collecting at lower orifice.		1	\$1,100.00	\$1,100.00
7.		O and M Items Pond K Yard Drain -- Remove and Replace vertical pipe and drain grate (9-12B) Locate and expose 12" FES (9-12A).install rip rap sump at outfall 4' around structure to prevent future sediment intrusion into pipe.		1	\$1,400.00	\$1,400.00
8.		O and M Items Remove the last section of pipe, add filter fabric, #57 stone, and compacted clayey soil to the base of where the pipe will be resealed. Reseal pipe and wrap joint in filter fabric. Restore approximate 6'x8' section of erosion based on attached erosion		1	\$2,900.00	\$2,900.00

repair detail.

Total

\$25,250.00



FIELD OBSERVATION REPORT

Date: September 6, 2023_____ Field Observation Report Number: 1
Project Name: Waters Edge – Bellehaven Drive Erosion and Outfall Clearing Report
Project Number: 238200185
Stantec Representative (s): Frank Nolte
Contractor: N/A
County / Consultant / Developer Representatives on Site: N/A
Weather Conditions: Clear Partly Cloudy Heavy Clouds Fog
Rain: None Light Heavy Showers
Soil Conditions: Dry Wet Extremely Wet
Effects of Weather on Major Work Items None <50% affected >50% affected No Work

Description of Work Activity:

Location: (Street Names/MH#s, etc.) Bellehaven Drive Erosion and Outfall 12-73A Clearing

General: A stormwater pipe vacuum/jetting contractor was on site to clear clogged 18" outfall pipe on September 13, 2023. While stormwater is now flowing freely into the adjacent wetland, Stantec recommends restoring the downslope from apparent erosion, caused by the clogged stormwater outfall. Stantec also recommends clearing all vegetation within a 6' radius of the outfall pipe to allow for unobstructed discharge to the wetland. We also recommend installation of rubble/rip rap to be installed downstream of the outfall as well to prevent future vegetation and sediment intrusion into the outfall pipe.

Approximate limits of erosion: 400 Square Feet. Recommend installing 2" of compacted topsoil to level out eroded embankment, then installing bahia sod to match surroundings.

LEGEND

- = Overland Flow Direction
- = Concentrated Flow Direction
- = Hard Surface Drainage Flow Direction
- = Lot Grading Type & Min. Finish Floor Elev.
- = Proposed Grading Pad Contour
- = Proposed Storm Structure Number
- = Proposed Spot Elevation
- = Existing Spot Elevation
- = Proposed Storm Structure & Pipe
- = Existing Storm Structure & Pipe
- = Existing Tree to be Removed
- = Existing Tree to Remain
- = Proposed Silt Fence
- = Existing Silt Fence
- = Additional Wetland Buffer
- = Buffer Encroachment

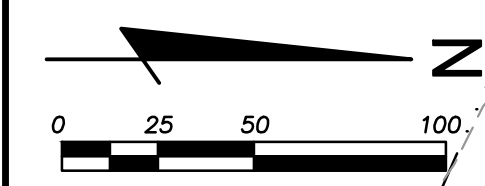
- = Limits of Wetland Impact
- = Limits of Temporary Wetland Impact
- = Outfall Rip Rap
- = Lot with Bump Swale (See Sheet 47 for "Typical Bump Swale Detail")
- = Lot with Bump Swale and Weir Overflow Structure (See Sheet 47 for "Typical Bump Swale Detail" and "Weir Overflow Structure Detail")

WETLAND L
DWH (25) = 24.59
NP = 24.20

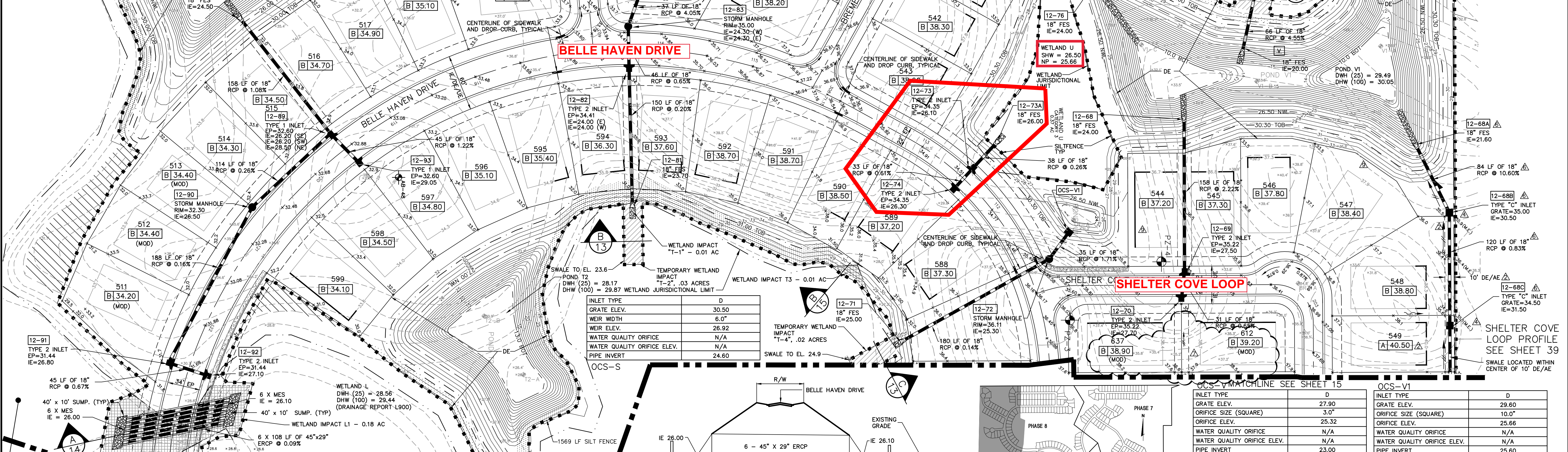
WETLAND L
DWH (25) = 24.84
DHW (100) = 24.84
(DRAINAGE REPORT L1000)

OCS-L6

INLET TYPE	D
GRATE ELEV.	29.10
WEIR WIDTH	5.0"
WEIR ELEV.	26.60
WATER QUALITY ORIFICE	1.6"
WATER QUALITY ORIFICE ELEV.	26.00
PIPE INVERT	25.80



POND L6
DWH (25) = 28.55
DHW (100) = 29.15



BELLE HAVEN DRIVE

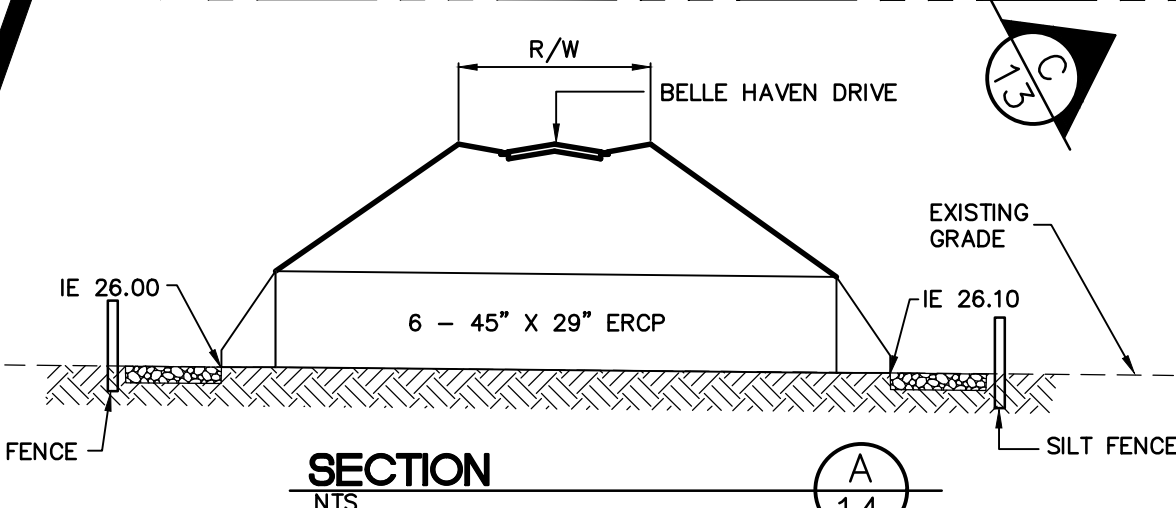
SHELTER COVE LOOP

OCS-S

INLET TYPE	D
GRATE ELEV.	30.50
WEIR WIDTH	6.0"
WEIR ELEV.	26.92
WATER QUALITY ORIFICE	N/A
WATER QUALITY ORIFICE ELEV.	N/A
PIPE INVERT	24.60

OCS-V1

INLET TYPE	D
GRATE ELEV.	29.60
ORIFICE SIZE (SQUARE)	3.0"
ORIFICE ELEV.	25.32
WATER QUALITY ORIFICE	N/A
WATER QUALITY ORIFICE ELEV.	N/A
PIPE INVERT	25.60



WETLAND L
DWH (25) = 24.84
DHW (100) = 24.84
(DRAINAGE REPORT L1000)

BELLE HAVEN DRIVE PROFILE
SEE SHEETS 37 AND 38

SHELTER COVE LOOP PROFILE
SEE SHEET 39

DESIGNED	JC/JB
DRAWN	JC
CHECKED	EM
A.C.	



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3030 STARKEY BOULEVARD, W. PALM BEACH, FLORIDA 33488
PHONE: (800) 532-1047 WWW.FLDESIGN.COM C.A. NO. 7421

PREPARED FOR:
THE RYLAND GROUP, INC.
255 PINE AVENUE NORTH
OLDSMAR, FLORIDA 34667
PHONE (813) 329-7600 FAX (813) 329-7688

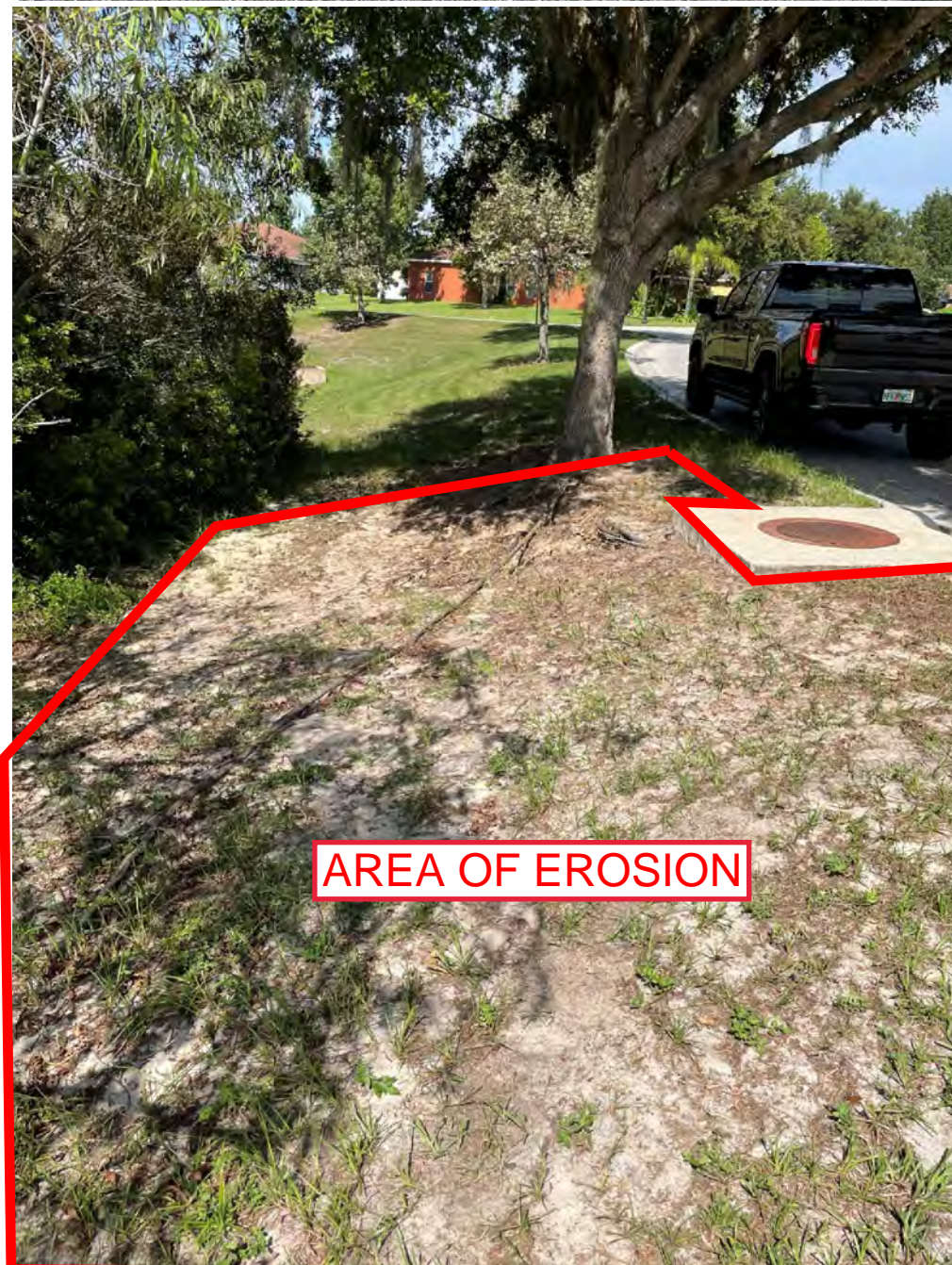
SHEET DESCRIPTION:
**WATERS EDGE MPUD THREE (PHASES 7 and 8)
WATERS EDGE MPUD FOUR (PHASES 9 and 10)
CONSTRUCTION PLANS
PAVING, GRADING, AND
DRAINAGE PLAN**

NO.	DATE	REVISIONS	APPRO BY
1	9/25/07	REVISED LOT GRADES ON LOTS 612 AND 637.	
2	9/04/07	ADDED RECORD PAVEMENT GRADES	
3	8/17/07	ADDED ADDITIONAL RECORD WALL DATA	
4	3/5/07	REVISED LOT 612 & 637 GRADING AND FINISHED FLOOR ELEVATIONS	
5	5/7/06	ADDED STRUCTURE 12-68A - 12-68D	
6	2/7/07	ADDED RECORD DRAINAGE AND STORM SEWER DATA	
7	2/13/06	REVISED REAR GRADING ELEVATIONS ON LOTS 548-549	
8	10/19/05	ELIMINATED BUMP SWALES	
9	10/11/05	REVISED GRADING ON LOTS 548 AND 549, ADDED DE/AE	
10	4/15/05	REV. PER SIFWMD COMMENTS	

JOB NO.	506-62
FR.	84
P. & P.	14
DATE	02/21/05
OF	55

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Surrounding Area





**OUTFALL
LOCATION**



**OUTFALL
LOCATION**

Memorandum

Date: October 17, 2023

Project No: 238200185

To: Waters Edge CDD

From: Frank Nolte

RE: **Waters Edge CDD: Pond L5 Erosion Review**

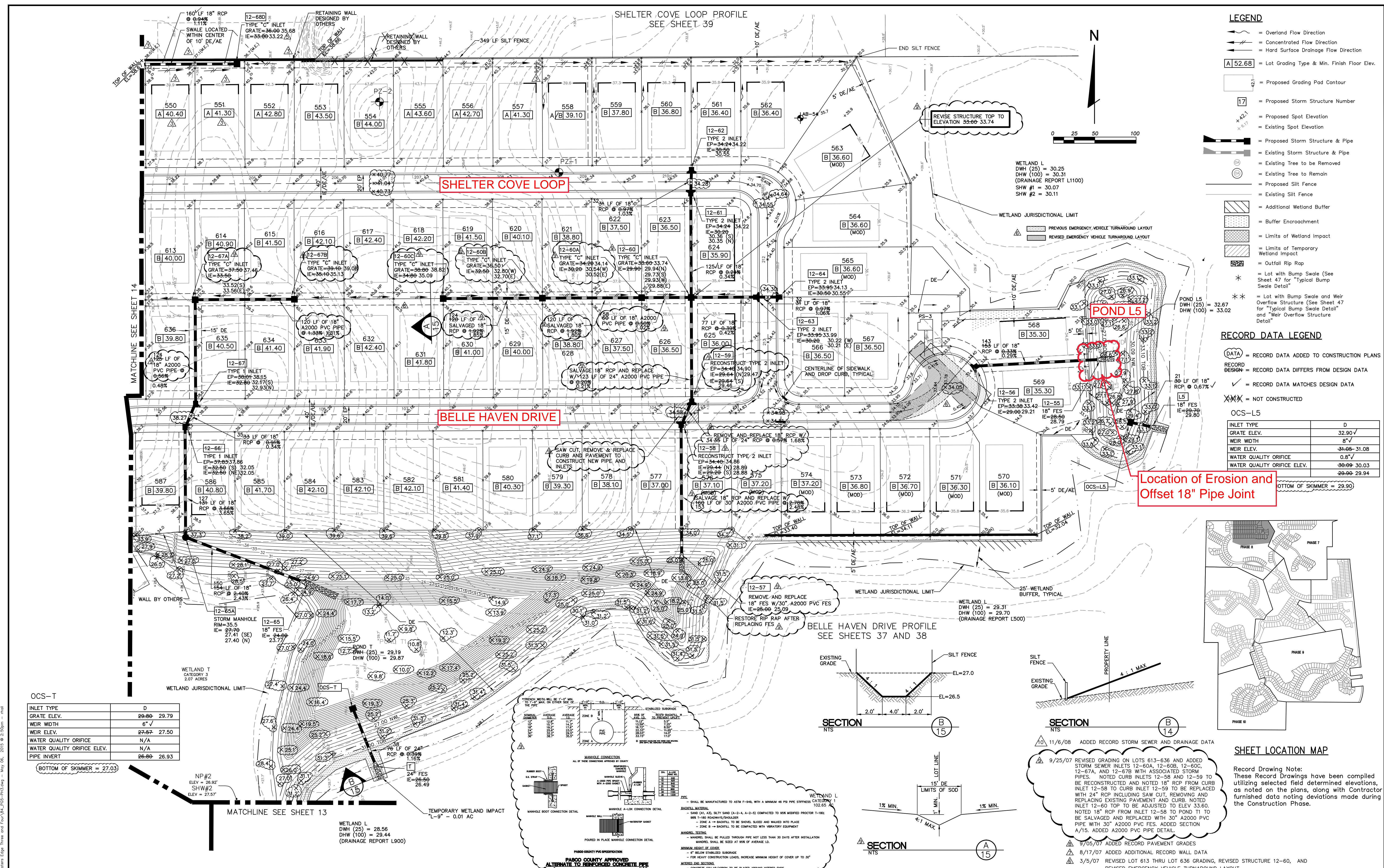
On October 3, 2023, Stantec staff conducted a field review of a reported mitered end deficiency along Pond L5, located behind 11002 Belle Haven Drive. Upon arrival, field staff observed moderate erosion surrounding an 18" mitered end section entering pond L5. Over time, sandy soils beneath the outfall pipe have eroded, causing the pipe to sag. As a result, an offset in the pipe joint has occurred, and soils along the pond bank have intruded into the pipe and pond downstream.

Stantec staff recommends removing the last section of pipe, adding filter fabric, #57 stone, and compacted clayey soil to the base of where the pipe will be reseated. Reseat pipe and wrap joint in filter fabric. Restore approximate 6'x8' section of erosion based on attached erosion repair detail.

Staff recommends repair to be completed in the spring of 2024, once regular rains start to occur.

Frank Nolte

District Engineer, Stantec



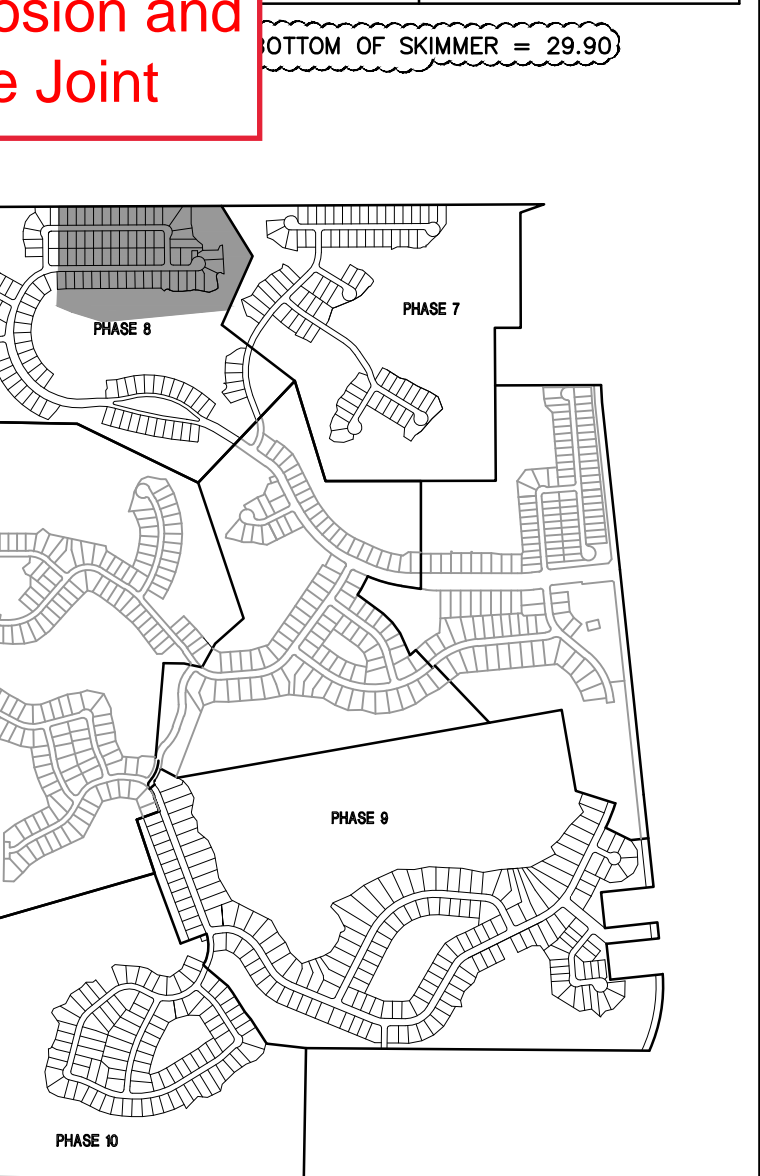
- LEGEND**
- = Overland Flow Direction
 - = Concentrated Flow Direction
 - = Hard Surface Drainage Flow Direction
 - A 52.68 = Lot Grading Type & Min. Finish Floor Elev.
 - = Proposed Grading Pad Contour
 - 17 = Proposed Storm Structure Number
 - = Proposed Spot Elevation
 - = Existing Spot Elevation
 - = Proposed Storm Structure & Pipe
 - = Existing Storm Structure & Pipe
 - = Existing Tree to be Removed
 - = Existing Tree to Remain
 - = Proposed Silt Fence
 - = Existing Silt Fence
 - = Additional Wetland Buffer
 - = Buffer Encroachment
 - = Limits of Wetland Impact
 - = Limits of Temporary Wetland Impact
 - = Outfall Rip Rap
 - = Lot with Bump Swale (See Sheet 47 for Typical Bump Swale Detail)
 - = Lot with Bump Swale and Weir Overflow Structure (See Sheet 47 for Typical Bump Swale Detail and Weir Overflow Structure Detail)

RECORD DATA LEGEND

- = RECORD DATA ADDED TO CONSTRUCTION PLANS
- = RECORD DATA DIFFERS FROM DESIGN DATA
- = RECORD DATA MATCHES DESIGN DATA
- = NOT CONSTRUCTED

OCS-L5

INLET TYPE	D
GRATE ELEV.	32.90
WEIR WIDTH	8"
WEIR ELEV.	31.08
WATER QUALITY ORIFICE	0.8"
WATER QUALITY ORIFICE ELEV.	30.03
	29.99
	29.94

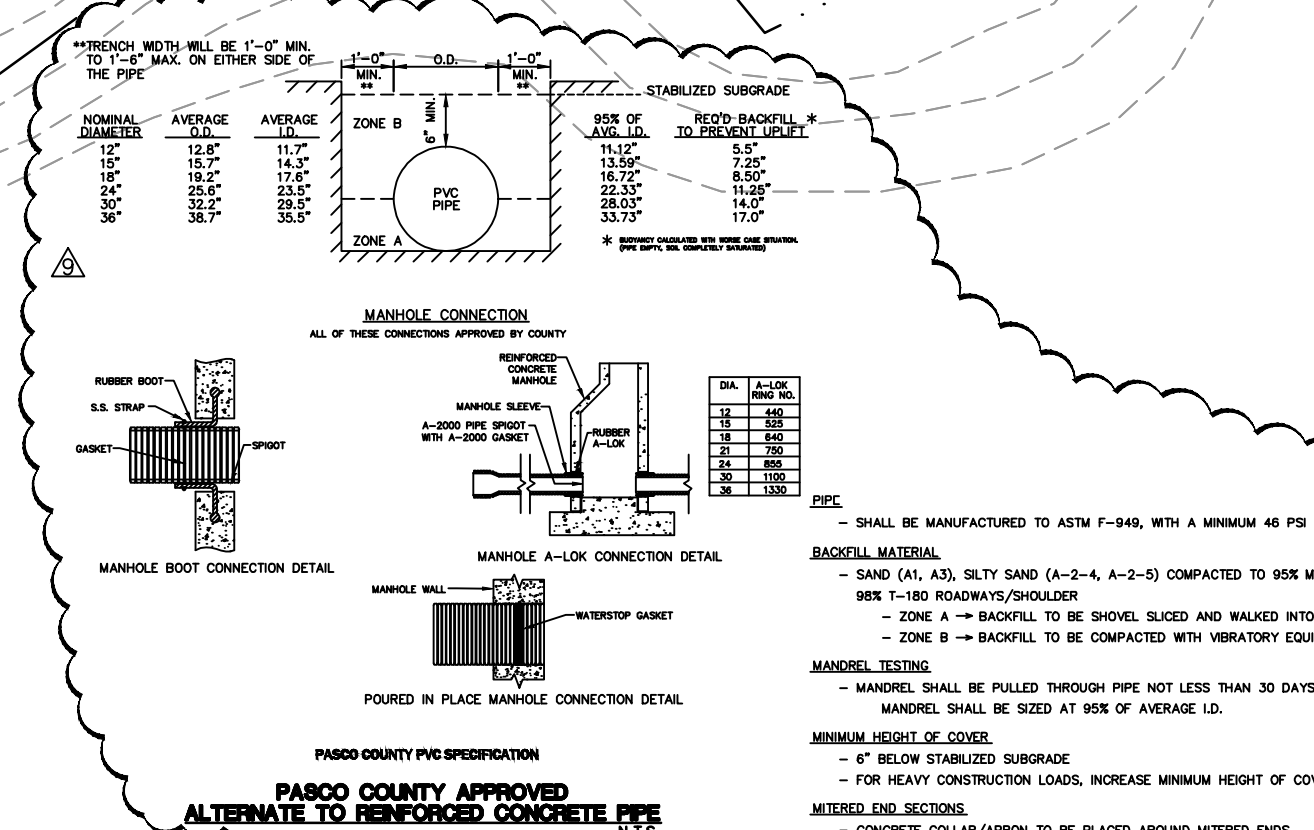
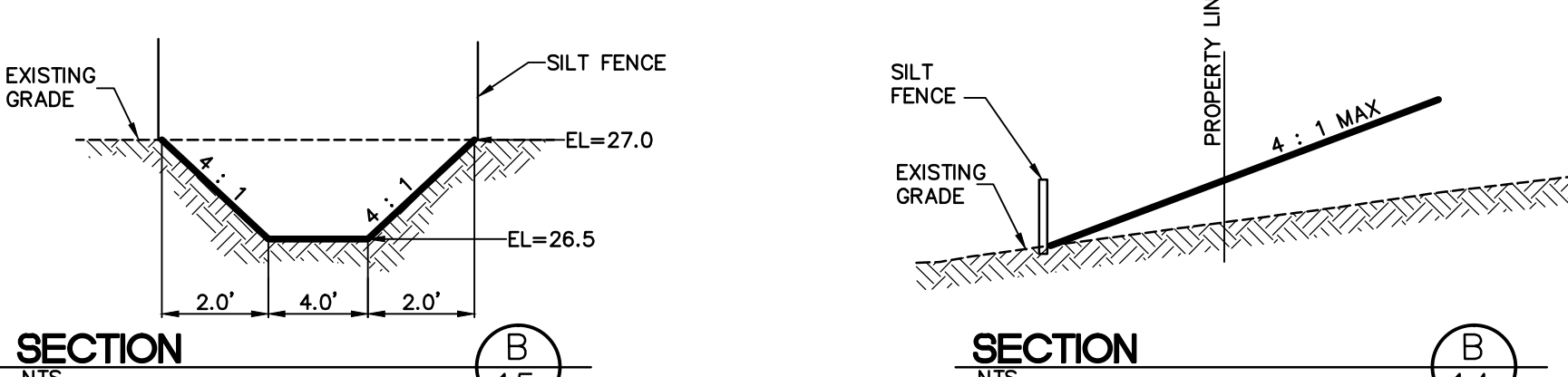


SHEET LOCATION MAP

Record Drawing Note:
These Record Drawings have been compiled utilizing selected field determined elevations, as noted on the plans, along with Contractor furnished data noting deviations made during the Construction Phase.

OCS-T

INLET TYPE	D
GRATE ELEV.	29.99
WEIR WIDTH	6"
WEIR ELEV.	27.50
WATER QUALITY ORIFICE	N/A
WATER QUALITY ORIFICE ELEV.	N/A
PIPE INVERT	26.99
	26.93

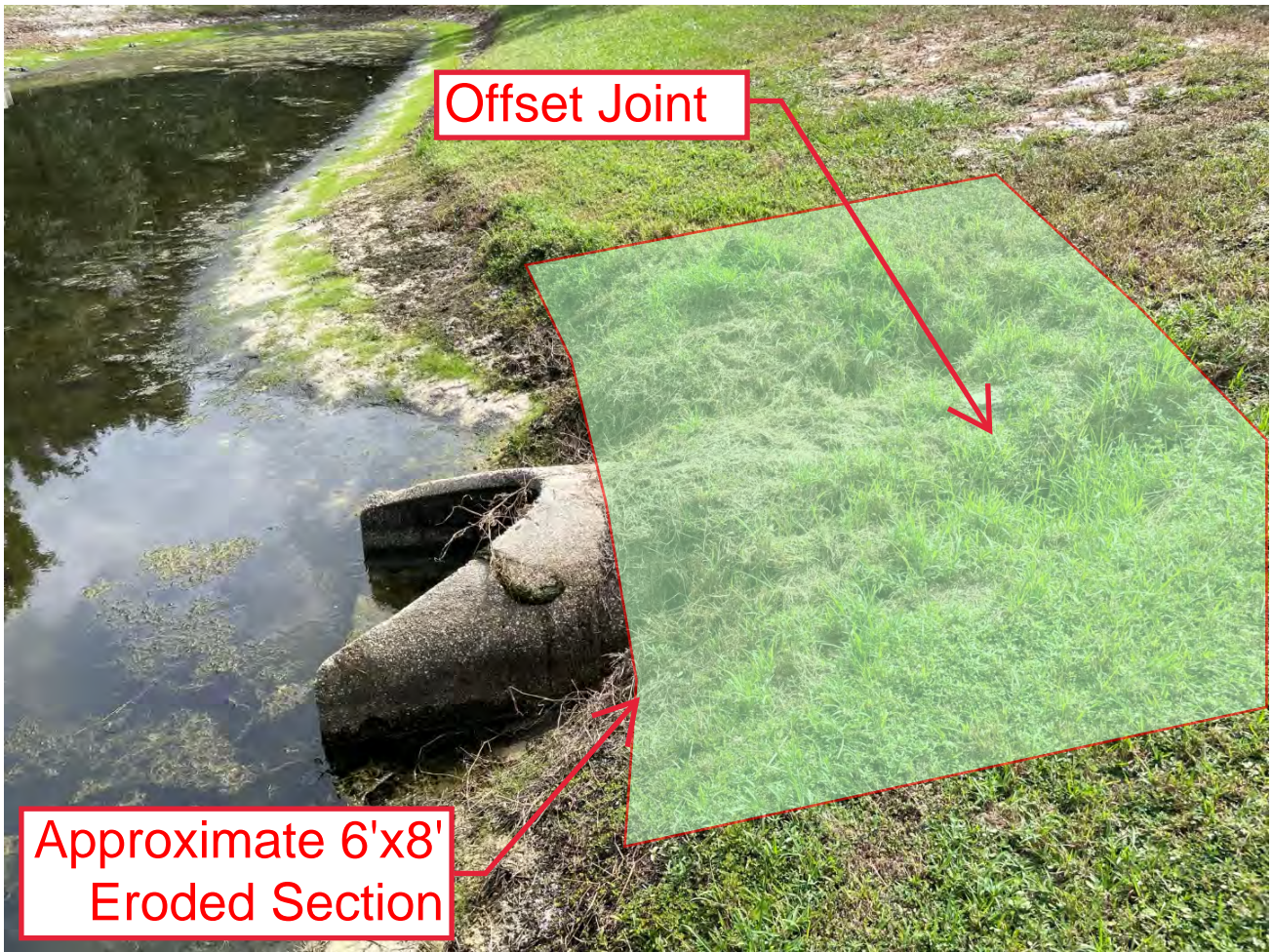


DESIGNED JC/JB	THE SIGNATURE OF THE QUALITY CONTROL OFFICER IN THIS SPACE INDICATES THAT ALL REQUIRED PERMITS HAVE BEEN OBTAINED AND THAT CONSTRUCTION IS AUTHORIZED TO COMMENCE.	PREPARED FOR: THE RYLAND GROUP, INC. 255 PINE AVENUE NORTH OLDSMAR, FLORIDA 34667 PHONE (813) 329-7600 FAX (813) 329-7688	SHEET DESCRIPTION: WATERS EDGE MPUD THREE (PHASES 7 and 8) WATERS EDGE MPUD FOUR (PHASES 9 and 10) CONSTRUCTION PLANS PAVING, GRADING, AND DRAINAGE PLAN	NO. DATE REVISIONS	<table border="1"> <tr> <td>5/16/06</td> <td>ADDED STRUCTURE 12-68A - 12-68D</td> <td>JOB NO.</td> <td>506-62</td> </tr> <tr> <td>2/7/07</td> <td>ADDED RECORD STORM SEWER AND DRAINAGE DATA</td> <td>FR.</td> <td>84</td> </tr> <tr> <td>2/13/06</td> <td>REVISED REAR GRADING ELEVATIONS ON LOTS 550-552 AND LOTS 557/558 SIDEYARD GRADING, REVISED LOTS 550-551 F.F. ELEV.</td> <td>F.B. & P.</td> <td>15</td> </tr> <tr> <td>10/19/05</td> <td>ELIMINATED BUMP SWALES</td> <td>DATE</td> <td>02/21/05</td> </tr> <tr> <td>4/15/05</td> <td>REV. PER SWFMD COMMENTS</td> <td>APPRO BY</td> <td>55</td> </tr> </table>	5/16/06	ADDED STRUCTURE 12-68A - 12-68D	JOB NO.	506-62	2/7/07	ADDED RECORD STORM SEWER AND DRAINAGE DATA	FR.	84	2/13/06	REVISED REAR GRADING ELEVATIONS ON LOTS 550-552 AND LOTS 557/558 SIDEYARD GRADING, REVISED LOTS 550-551 F.F. ELEV.	F.B. & P.	15	10/19/05	ELIMINATED BUMP SWALES	DATE	02/21/05	4/15/05	REV. PER SWFMD COMMENTS	APPRO BY	55
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3000 STARKEY BOULEVARD, NEWPORT BEACH, FLORIDA 32488
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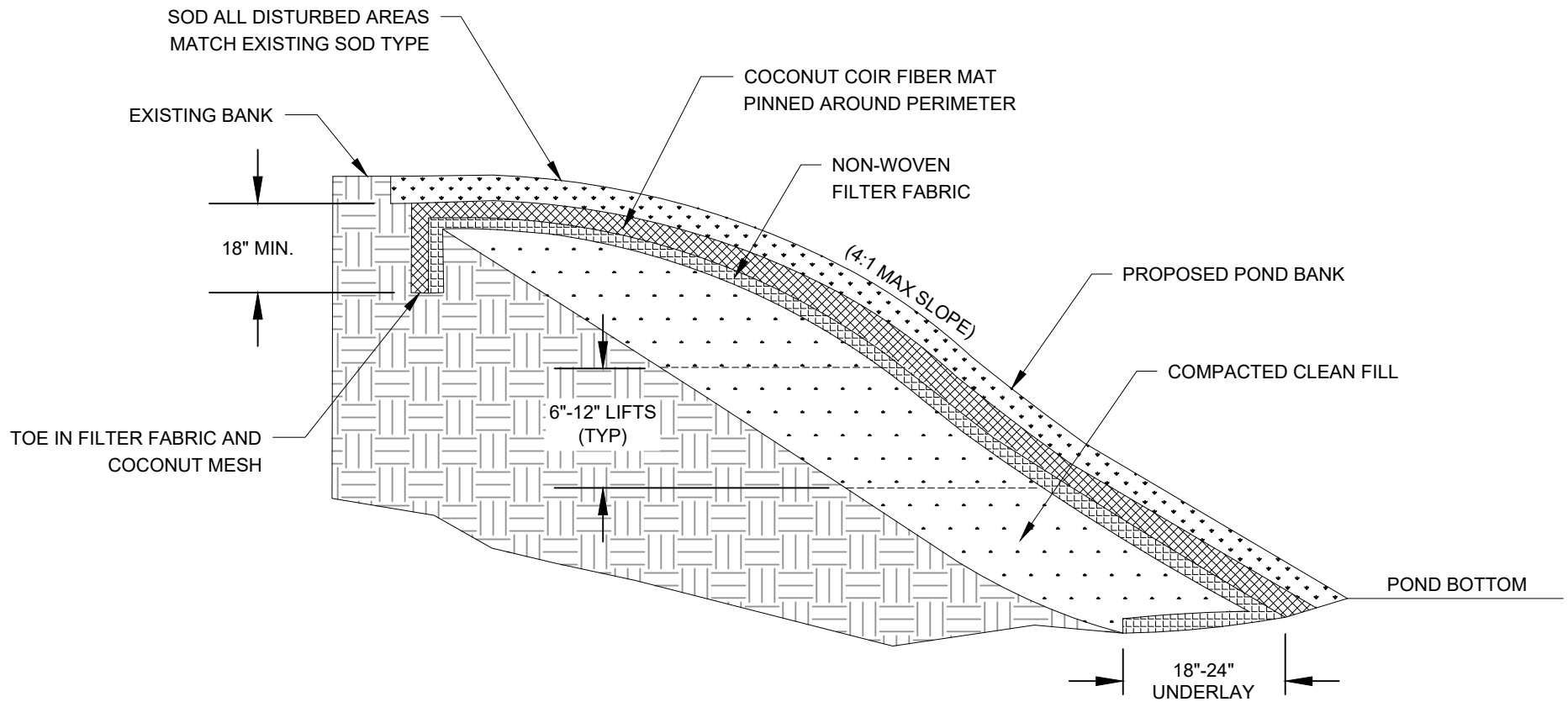
K:\A\Final\Drawings\Drawings\Waters Edge Three and Four\Waters Edge Three and Four\Waters Edge Three and Four.dwg - 2/21/05 - 2:50pm - mail

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15' Drainage/Access
Easement



POND EROSION REPAIR DETAIL

N.T.S.



MEMORANDUM

To: Matthew Huber, Water's Edge District Manager

From: Frank Nolte, Stantec, District Engineer

Project: Waters Edge Phase 1, 5 and 6

SWFWMD Permit No. 26810.000

Date: February 14, 2024

On February 6, 2024, Stantec staff visited the Waters Edge Community to review the Stormwater Management System in general conformance with SWFWMD Permit No. 26810.000, Stantec reviewed all pond banks, visible drainage structures and conveyance ways. Below are photos and descriptions of the requested maintenance noted during the inspection.

Pond L10

Maintenance Required: Overgrown vegetation and silt build up was noted at the 24" FES outfall (L10).

Recommended Repair: Remove vegetation and silt buildup from around the outfall structure FES (L10) 10' in every direction to create a positive discharge to the downstream wetland.



Wetland K

Maintenance Required: Excessive sediment was observed at Control Structure (OCS-K).

Recommended Repair: Remove 12" of sediment within 6' of control structure. Install rip rap 6' in every direction around the structure to prevent future sediment collecting at lower orifice.

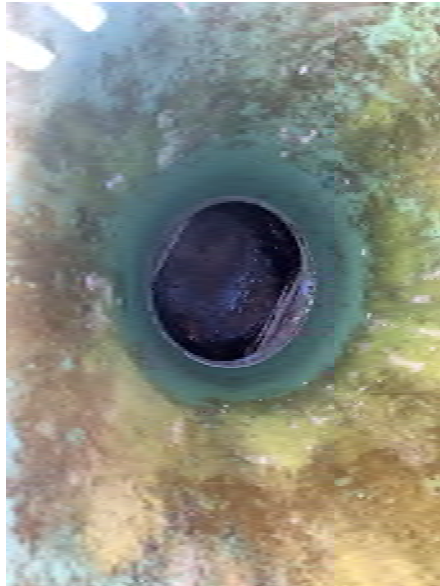




Pond K Yard Drain Repair and Exploration

Maintenance Required: 12" PVC yard drain grate (9-12B) and vertical pipe are broken.
Unable to locate 12" FES outfall (9-12A)

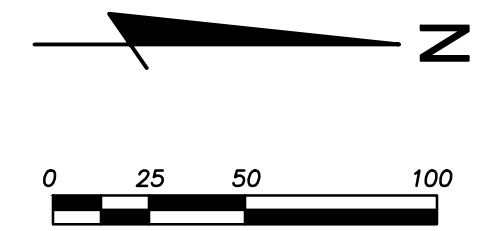
Recommended Repair: Remove and Replace vertical pipe and drain grate (9-12B)
Locate and expose 12" FES (9-12A).install rip rap sump at outfall 4' around structure to prevent future sediment intrusion into pipe.



FES L10

OCS-L10

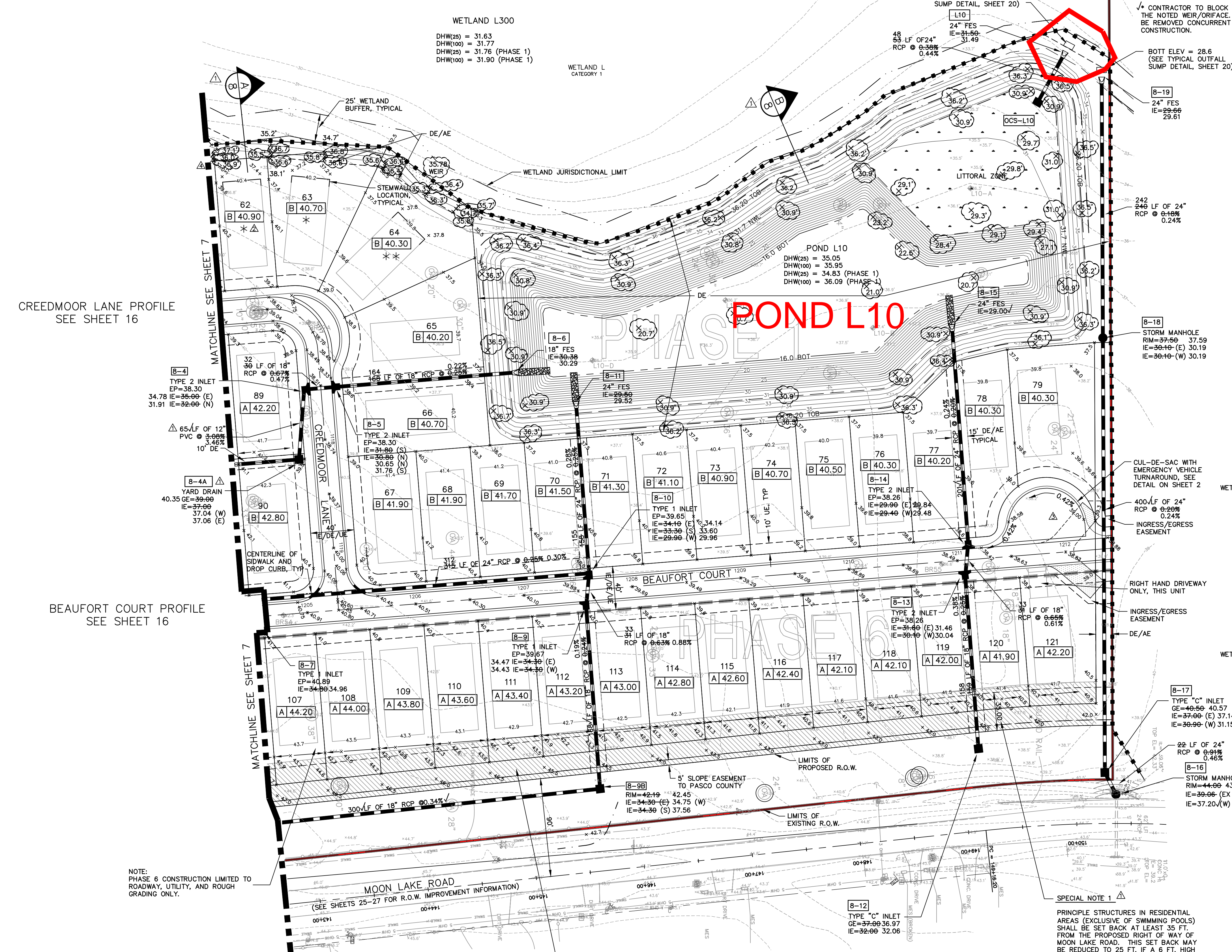
INLET TYPE	D
GRATE ELEV.	36.00 36.83
ORIFICE SIZE*	2-IN./RECTANGULAR
WEIR ELEV.	32.40 32.39
WATER QUALITY ORIFICE	3-IN./CIRCULAR
WATER QUALITY ORIFICE ELEV.	31.70 31.69
PIPE INVERT	31.70



CONTRACTOR TO BLOCK WITH BRICK AND MORTAR THE NOTED WEIR/ORIFICE. BRICK AND MORTAR TO BE REMOVED CONCURRENT TO PHASE 2, 3, AND 4 CONSTRUCTION.

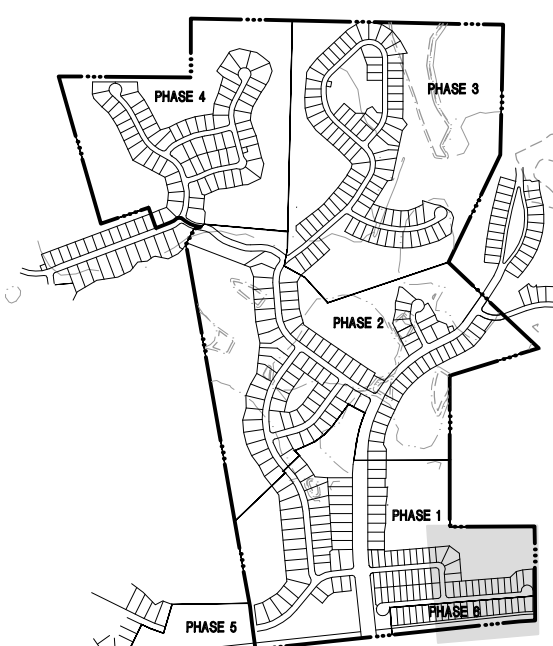
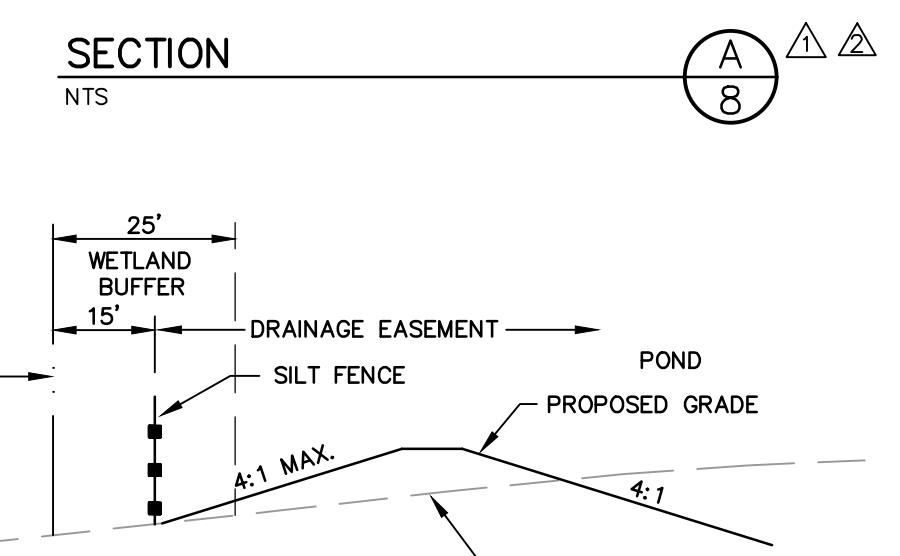
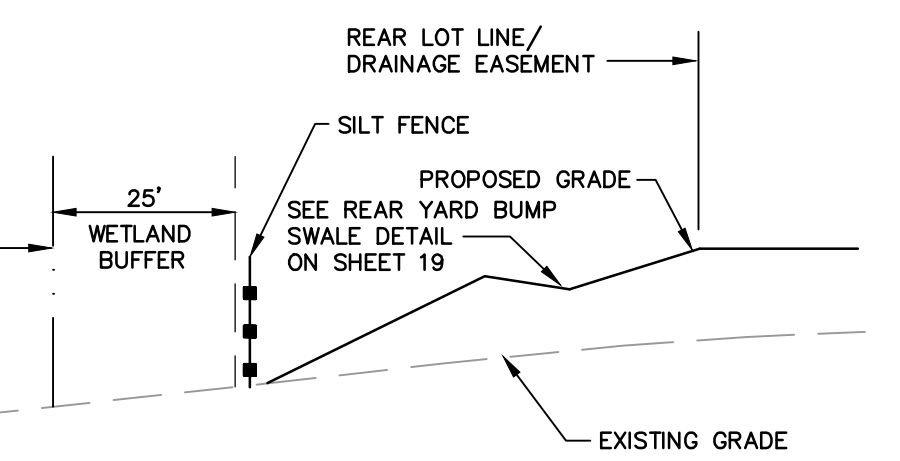
LEGEND

- = Overland Flow Direction
- = Concentrated Flow Direction
- = Hard Surface Drainage Flow Direction
- = Lot Grading Type & Min. Finish Floor Elev.
- = Proposed Grading Pad Contour
- = Proposed Storm Structure Number
- = Proposed Spot Elevation
- = Existing Spot Elevation
- = Proposed Storm Structure & Pipe
- = Existing Tree to be Removed
- = Existing Tree to Remain
- = Proposed Silt Fence
- = Additional Wetland Buffer
- = Buffer Encroachment
- = Limits of Wetland Impact
- = Outfall Rip Rap
- = Lot with Bump Swale (See Sheet 19 for "Typical Bump Swale Detail")
- = Lot with Bump Swale and Weir Overflow Structure (See Sheet 19 for "Typical Bump Swale Detail" and "Weir Overflow Structure Detail")



CREEDMOOR LANE PROFILE
SEE SHEET 16

BEAUFORT COURT PROFILE
SEE SHEET 16



NOTE:
PHASE 6 CONSTRUCTION LIMITED TO
ROADWAY, UTILITY, AND ROUGH
GRADING ONLY.

SPECIAL NOTE 1
PRINCIPLE STRUCTURES IN RESIDENTIAL
AREAS (EXCLUSIVE OF SWIMMING POOLS)
SHALL BE SET BACK AT LEAST 35 FT.
FROM THE PROPOSED RIGHT OF WAY OF
MOON LAKE ROAD. THIS SET BACK MAY
BE REDUCED TO 25 FT. IF A 6 FT. HIGH
WALL OR COMBINATION AS SET FORTH IN
THE LAND DEVELOPMENT CODE IS
PROVIDED AS A BUFFER.

Record Drawing Note:
These Record Drawings have been compiled
utilizing selected field determined elevations,
as noted on the plans, along with Contractor
furnished data noting deviations made during
the Construction Phase.

DESIGNED	GBW
DRAWN	RAH
CHECKED	RAH
A.C.	

FLORIDA DESIGN CONSULTANTS, INC.
— THINK IT. ACHIEVE IT. —
3300 STARKEY BOULEVARD, NEW PORT RICHEY, FLORIDA 34688
PHONE: (800) 532-1047 WWW.FLDESIGN.COM C.A. NO. 7421

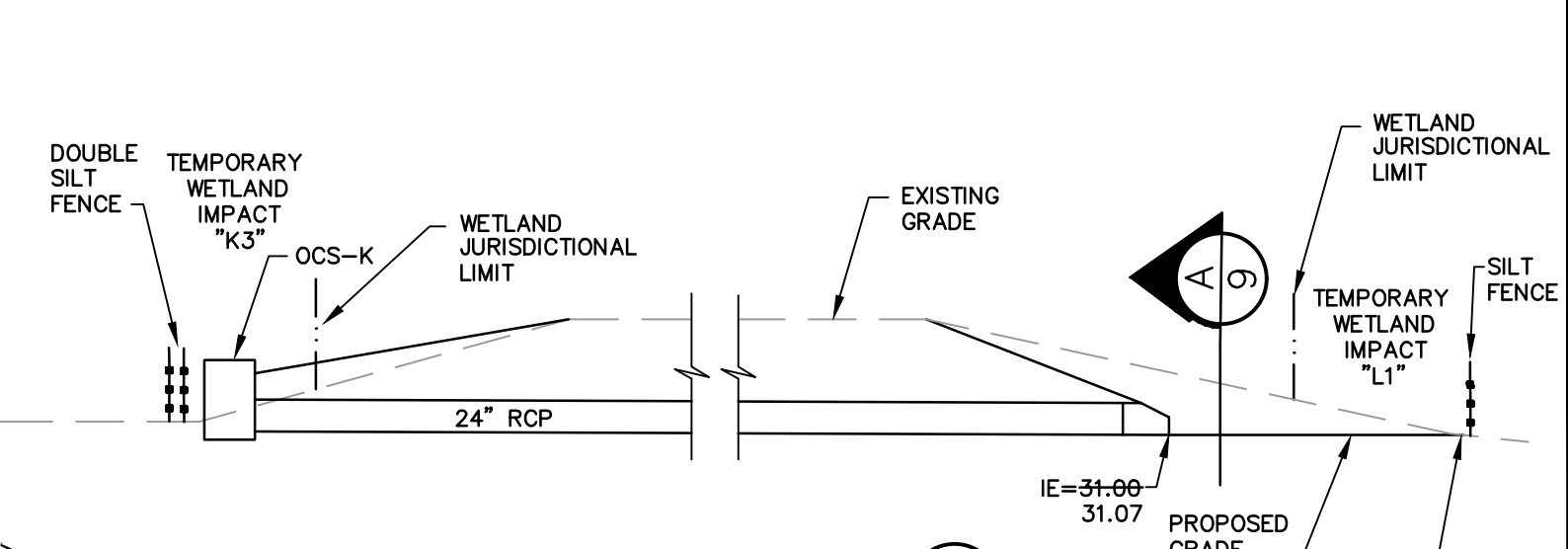
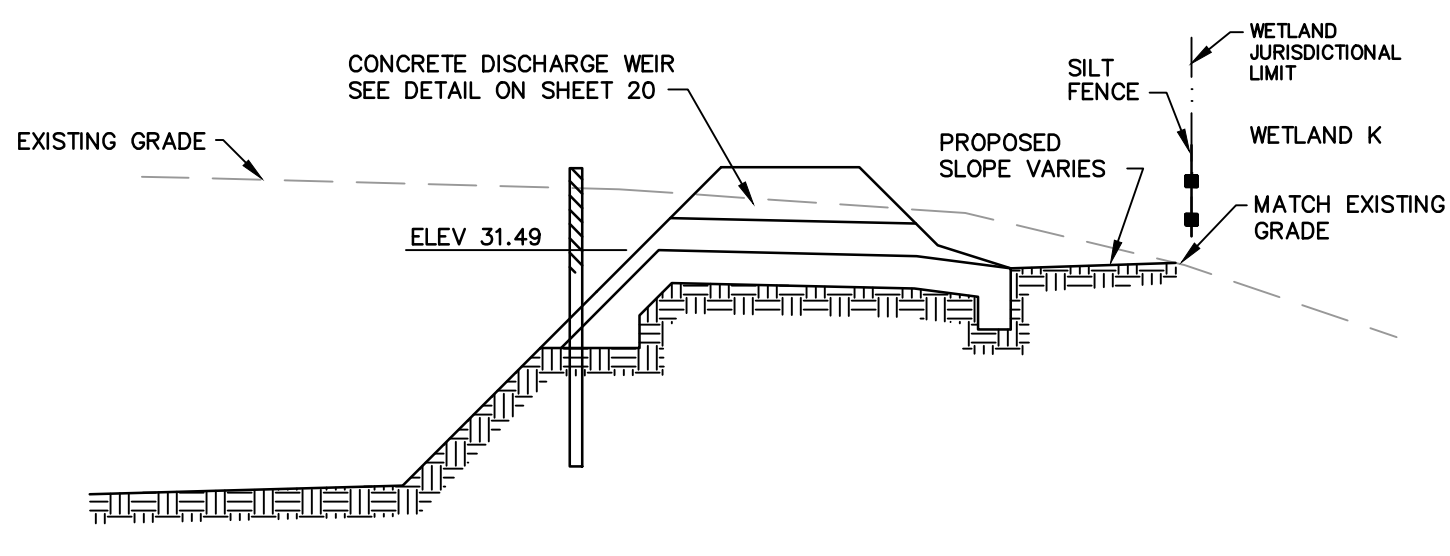
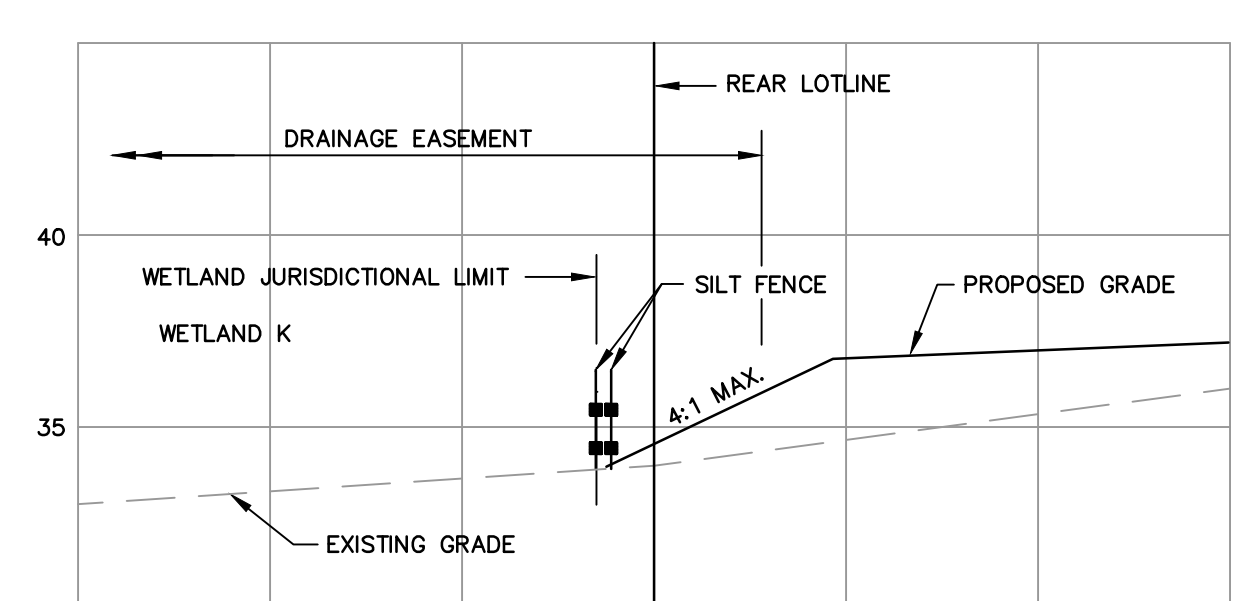
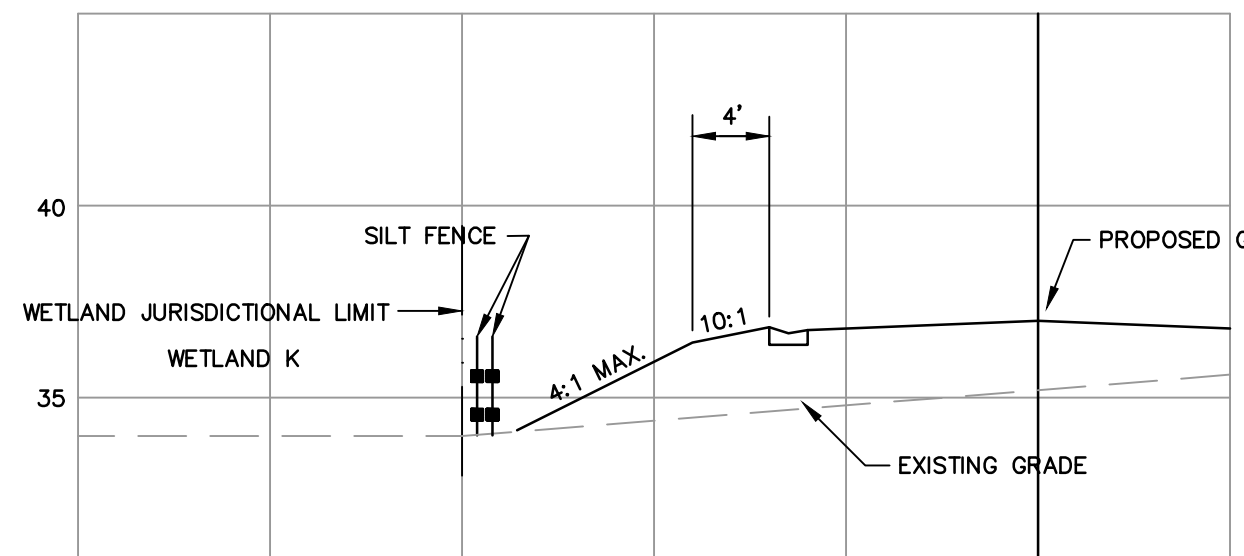
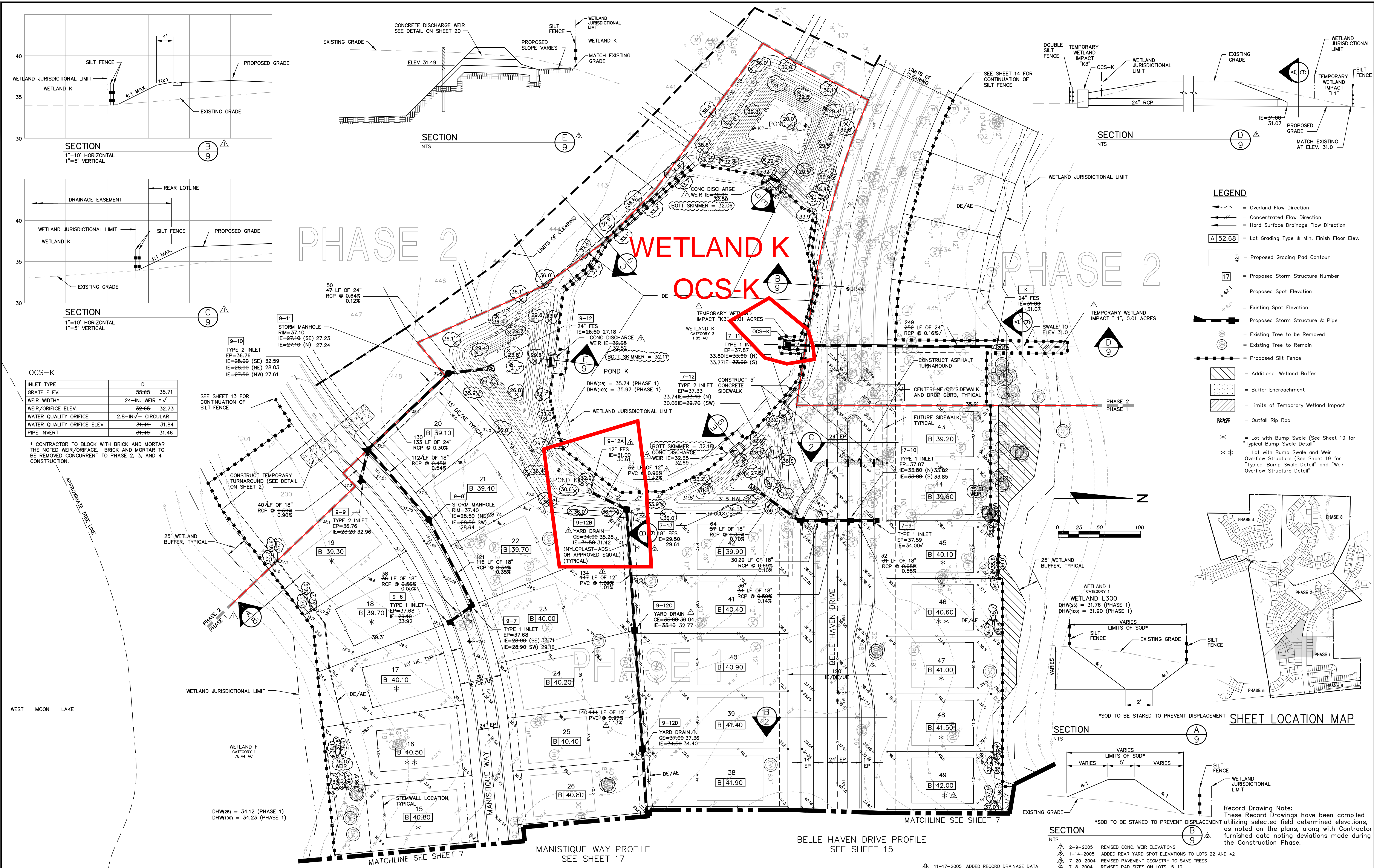
PREPARED FOR:
THE RYLAND GROUP, INC.
255 PINE AVENUE NORTH
OLDSMAR, FLORIDA 34667
PHONE (813) 329-7600 FAX (813) 329-7688

SHEET DESCRIPTION: **WATERS EDGE MPUD ONE PHASES I, 5 AND 6 CONSTRUCTION PLANS PAVING, GRADING, AND DRAINAGE PLAN**

NO.	DATE	REVISIONS	APPROVED BY	JOB NO. 506-60
1	11-16-05	ADDED RECORD DRAINAGE DATA	EPN	84
2	1-14-2005	ADDED REAR LOT CORNER SPOT ELEVATION TO LOT 62	F.R. & P.	8
3	6-22-2004	REVISED CUL-DE-SAC FOR FIRE LANE PAYMENT		
4	6-4-2004	ADDED REAR LOT BUMP SWALE TO LOT 62. REVISED SECTION "A".		
5	4-26-2004	ADDED SECTIONS "A" AND "B", YARD DRAINS, AND SPECIAL NOTE 1		
			DATE: 02/04	OF 27

K:\BA\Projects\ComDev\Phase 1 and 5\BA_P1-02-Plan.dwg - May 05, 2015 @ 9:27am - I:\all

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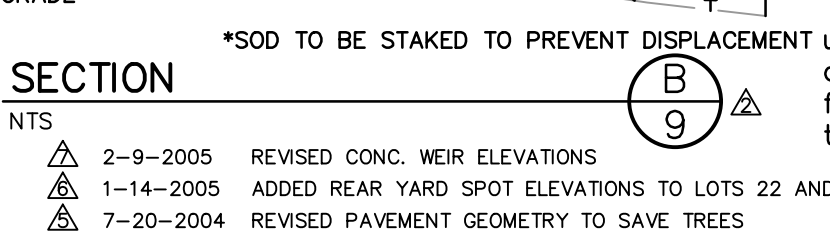
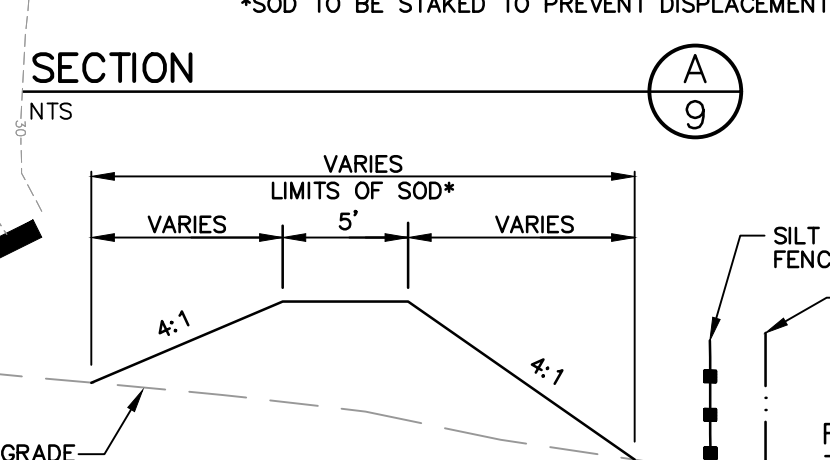
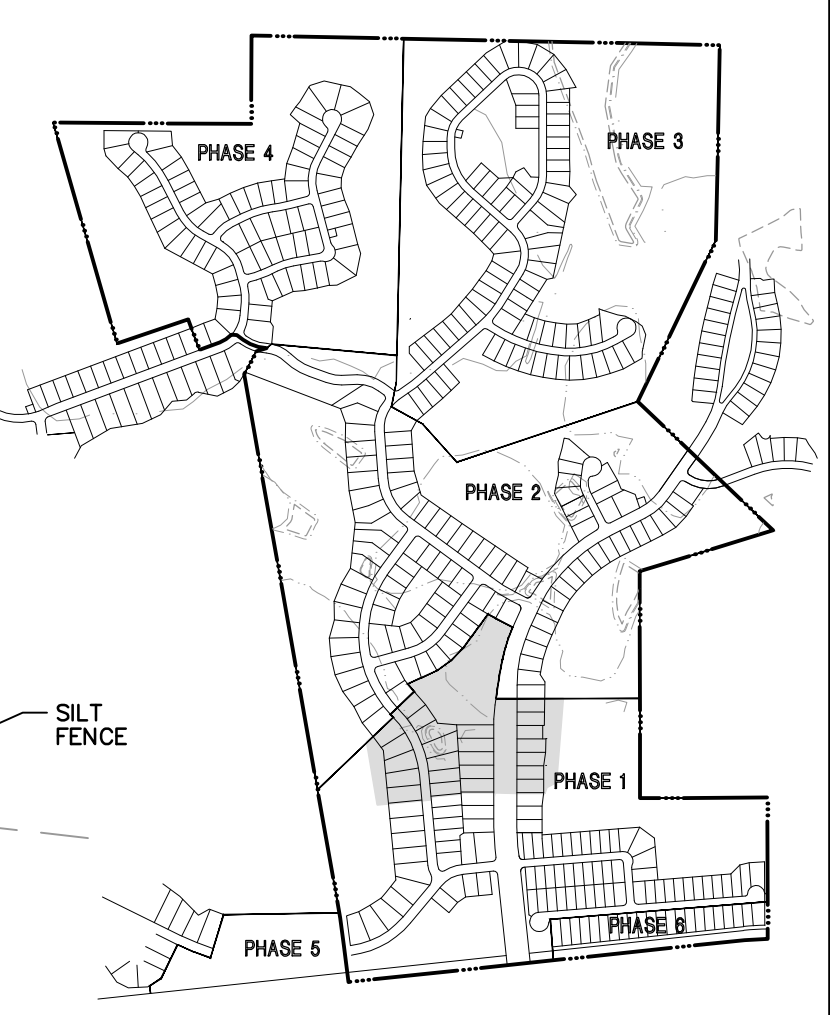
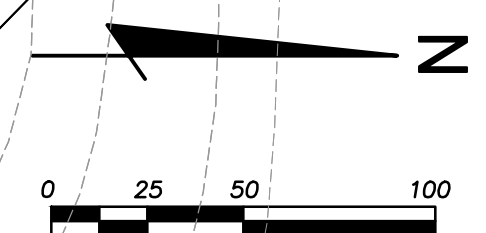


OCS-K

INLET TYPE	D
GRATE ELEV.	35.65 35.71
WEIR WIDTH*	24-IN. WEIR * ✓
WEIR/ORIFICE ELEV.	32.65 32.73
WATER QUALITY ORIFICE	2.8-IN. / - CIRCULAR
WATER QUALITY ORIFICE ELEV.	31.49 31.84
PIPE INVERT	31.40 31.46

* CONTRACTOR TO BLOCK WITH BRICK AND MORTAR THE NOTED WEIR/ORIFICE. BRICK AND MORTAR TO BE REMOVED CONCURRENT TO PHASE 2, 3, AND 4 CONSTRUCTION.

- LEGEND**
- = Overland Flow Direction
 - = Concentrated Flow Direction
 - = Hard Surface Drainage Flow Direction
 - [A 52.68] = Lot Grading Type & Min. Finish Floor Elev.
 - [] = Proposed Grading Pad Contour
 - [17] = Proposed Storm Structure Number
 - +42.1 = Proposed Spot Elevation
 - +31.7 = Existing Spot Elevation
 - ⊙ = Proposed Storm Structure & Pipe
 - ⊙ = Existing Tree to be Removed
 - ⊙ = Existing Tree to Remain
 - = Proposed Silt Fence
 - ▨ = Additional Wetland Buffer
 - ▨ = Buffer Encroachment
 - ▨ = Limits of Temporary Wetland Impact
 - ▨ = Outfall Rip Rap
 - * = Lot with Bump Swale (See Sheet 19 for "Typical Bump Swale Detail")
 - ** = Lot with Bump Swale and Weir Overflow Structure (See Sheet 19 for "Typical Bump Swale Detail" and "Weir Overflow Structure Detail")



Record Drawing Note:
These Record Drawings have been compiled utilizing selected field determined elevations, as noted on the plans, along with Contractor furnished data noting deviations made during the Construction Phase.

DESIGNED	GBW
DRAWN	RAH
CHECKED	
A.C.	

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 PHONE: (800) 532-1047 WWW.FLORIDADDESIGN.COM C.A. NO. 7421

PREPARED FOR:
THE RYLAND GROUP, INC.
 255 PINE AVENUE NORTH
 OLDSMAR, FLORIDA 34667
 PHONE (813) 329-7600 FAX (813) 329-7688

SHEET DESCRIPTION:
WATERS EDGE MPUD ONE PHASES 1, 5 AND 6 CONSTRUCTION PLANS PAVING, GRADING, AND DRAINAGE PLAN

NO.	DATE	REVISIONS	APPROVED BY	DATE
2	2-9-2005	REVISED CONC. WEIR ELEVATIONS		
1	1-14-2005	ADDED REAR YARD SPOT ELEVATIONS TO LOTS 22 AND 42		
7	7-20-2004	REVISED PAVEMENT GEOMETRY TO SAVE TREES		
8	7-8-2004	REVISED PAD SIZES ON LOTS 15-19		
6	6-8-2004	ADDED SECTIONS "D/9" AND "E/9"		
4	6-4-2004	ADDED REAR YARD BUMP SWALE TO LOT 49. ADDED SECTION "B"		
5	5-5-2004	ADDED SECTION "A/B", "C/9", "C/9", AND TEMPORARY WETLAND IMPACTS.		
		REMOVED PREVIOUSLY PROPOSED PERMANENT IMPACT INFORMATION FROM WETLAND "K". ADDED DOUBLE ROW SILT FENCE ADJACENT TO WETLAND "K".		
		ADDED 12" PVC PIPE AND YARD DRAINS.		

JOB NO. 506-60
 EPN 84
 P. & P. 9
 DATE 02/04
 OF 27

Memorandum

Date: August 16, 2023

Project No: 238200185

To: Waters Edge CDD

From: Frank Nolte

RE: **Waters Edge CDD: Pond A2 and T2 Erosion Review**

On August 10th 2023, Stantec staff conducted a field review of reported mitered end deficiencies along Pond A2 and TH2 within the vicinity of Ventana Townhomes and Reedville Street. Upon arrival, field staff observed a partially separated 18" mitered end section on the northern pond bank of Pond A2. Staff observed wood post deterioration at the outfall structure of pond T2 and minor cracking of an 18" mitered end section along southeastern portion of Pond T2.

Recommended Repairs:

Stantec recommends supporting and reseating an undermined and partially detached 18" MES at Pond A2, by installing filter fabric, #57 stone, and compacted clayey soil to the base of the pipe. Restore 4'x8' section pond bank up to first pipe joint, based on attached erosion repair detail.



Partially Separated 18" MES at Pond A2

Recommended Repairs:

Stantec recommends removing broken concrete piece, repouring section, and dowling into existing MES. Support pipe with #57 stone, filter fabric, and compacted clayey soil.



Minor crack in 18" MES at Pond T2

Recommended Repairs:

Stantec recommends replacing 7 deteriorated wood posts with fiberglass posts along Pond T2 outfall skimmer.



Deteriorating wood at Pond T2 weir outfall

= Littoral Zone

MATCHLINE SEE SHEET 9A

Partially separated 18" MES

POND A2

29
TYPE 2 INLET
EP=36.83
IE=32.89 (W)
32.20

33
20 LF OF 24"
RCP @ 1.03%
0.88%
12.3'

A2
24" FES
IE=34.99
34.13

POND A2
DHW (25) = 36.44
DWH (100) = 36.91

20
18" FES
IE=31.69
31.35

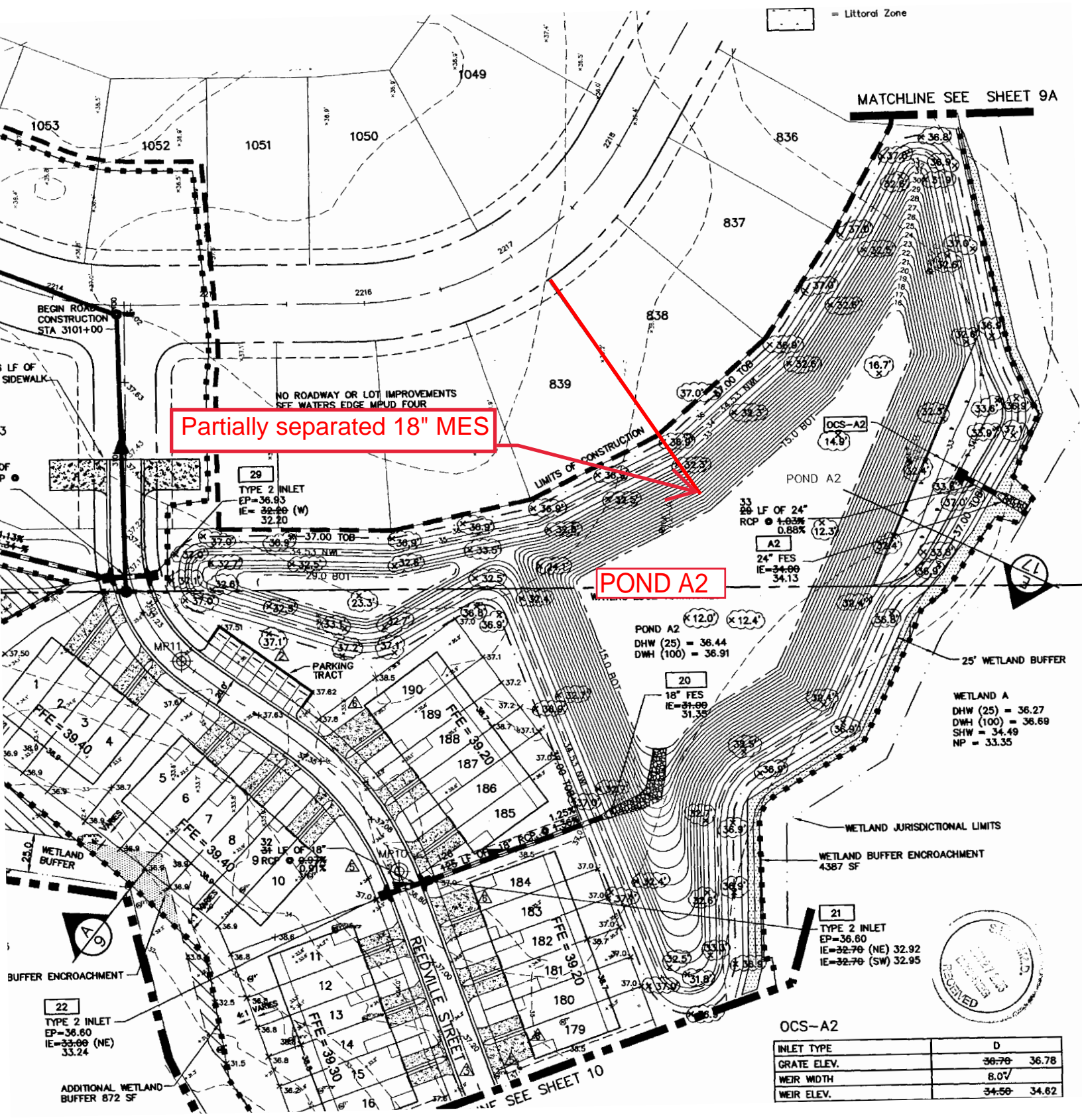
WETLAND A
DHW (25) = 36.27
DWH (100) = 36.69
SHW = 34.49
NP = 33.35

21
TYPE 2 INLET
EP=36.60
IE=32.70 (NE) 32.92
IE=32.70 (SW) 32.95

22
TYPE 2 INLET
EP=36.60
IE=33.69 (NE) 33.24

OCS-A2

INLET TYPE	D
GRATE ELEV.	36.70 36.78
WEIR WIDTH	8.07
WEIR ELEV.	34.50 34.62



SEE SHEET 10

INLET TYPE		E	
GRATE ELEV.		36.75	36.84
WEIR WIDTH		48"√	
WEIR ELEV.		35.10	35.18
WATER QUALITY ORIFICE		N/A	
WATER QUALITY ORIFICE ELEV.		N/A	
PIPE INVERT		33.00	33.18

WEIR STP
WEIR ELE
WIDTH (V
HEIGHT (V

SEE CON
SUMPS (C
(BOTTO

17
TYPE 2 INLET
EP=36.48
21E=33.00 (E)
05IE=33.00 (NW)

12
STORM MANHOLE
RIM = 38.00 38.01
IE=31.20 (E) 31.26
IE=31.70 (S) 31.62
IE=31.70 (W) 31.66

34
43 LF OF 24" RCP
● 2.79% 2.76%

11
24" FES
IE=30.00 30.32

SUMP A4
DHW (25) = 3
DWH (100) =

Replace
deteriorating
wood at Pond
T2

14B
18" FES
31.00
30.96

LF OF 18"
● 3.11%
3.39%

4A
STORM MANHOLE
RIM = 37.70
IE=32.40 (S) 32.37
IE=32.40 (NW) 32.25

POND T2

Minor Crack in
MES

174
173 LF OF
18" RCP
● 0.24%

109
108 LF OF 18" RCP
● 0.27%√

TYPE 2 INLET
36.84 36.60
IE=32.70 (N) 32.66
IE=32.70 (S) 32.64

FFE = 38.90
158 157 156 155

FFE = 38.90
154 153 152 151 150 149

FFE = 39.20
148 147 146 145 144 143

3204+00 MR6 3205+00 3206+00 CASTINE STREET



Tab 3

PSA HORTICULTURAL

Landscape Consulting & Contract Management
“Protecting Your Landscape Investment”

8431 Prestwick Place
Trinity, FL 34655

LANDSCAPE INSPECTION RESULTS

Date:	March 7, 2024
Client:	Water's Edge HOA/CDD
HOA/CDD:	None
Manager:	Rocco Iervasi
Ameriscape:	James Wade
PSA:	Tom Picciano

This landscape inspection report and subsequent ones will serve as both a benchmark of current landscape maintenance concerns and the progress toward corrective actions. It will also serve as a deficiency list of items that should be addressed under the current landscape maintenance agreement.

These items must be completed March 25, 2024. Notify PSA in writing upon their completion, via fax or email, on or before 9:00 am on March 26, 2024. Contractor must initial the bottom of each page and sign at the bottom of the last page. The reason for any uncompleted deficiency must be listed.

SCORE 1=POOR 2= FAIR 3=GOOD

3 MOWING/EDGING/TRIMMING

The turf has been neatly mowed, edged and trimmed in accordance with the specifications. The Bahia turf has not begun its rapid growth yet, so not all of it requires mowing. Sections of the turf mowing can be skipped to remove the heavy leaf drop. Be certain that any heavy leaf drop is continually removed from the turf to prevent smothering of the grass plants.

Rear of basketball court - remove leaf drop.

Clubhouse parking lot along fence line- remove leaf drop.

2 TURF COLOR

Belle Haven entry and exit-turf color was a lightly mottled medium green.

Slidell inbound and outbound-turf color remained a mottled medium green.

Veteran's Park-turf color was a lightly mottled medium green.

Clubhouse parking lot fence line-turf color ranged from a lightly mottled medium green to a consistent medium green.

Clubhouse front left side and berm area- turf color still ranged from a mottled medium green to a lightly mottled medium green.

Basketball court area-turf color remained a consistent medium green.

The color of the clubhouse Bahia lawn along northern section of Moon Lake Road fence ranged from a pale green to a mottled medium green.

Moon Lake Road- turf color ranged from a pale green to a mottled medium green.

March



March



February



February



January



January



December



December



3 TURF DENSITY

Moon Lake Road-the density ranged from poor to fair. Turf is made up of various grass types and weed growth. Turf is coming out of its dormant period.

Clubhouse front left side-density was good.

The density of the clubhouse Bahia lawn along northern section of Moon Lake Road fence line ranged from poor to fair. Turf is coming out of its dormant period.

Clubhouse lawn along the edge of the parking lot along Moon Lake Road-the density was good.

Common area Bahia grass-the turf density ranged from fair to good. Turf is coming out of its dormant period.

Veteran's Park-most of the Bahia lawn density ranged from fair to good. Turf is coming out of its dormant period.

Slidell-the density was good.

Belle Haven-the density was good.

Clubhouse basketball court sidewalk area-the density was good.

3 TURF WEED CONTROL

Belle Haven exit gate- treat broadleaf weeds.

Slidell entry drive- treat broadleaf weeds.

Clubhouse left side by large oak- treat broadleaf weeds.

Clubhouse basketball court sidewalk - treat broadleaf weeds.

Inside of Belle Haven entry gate - treat broadleaf weeds down to Creedmoor.

2 TURF INSECT/DISEASE CONTROL/OVERALL HEALTH

The turf is being cut at the appropriate height for proper growth and the heavy leaf drop is being removed. Most of the turf color was a mottled medium green. There was a slight improvement in the color over the past month. Turf

fertilizer is scheduled for application in the coming weeks. The density remains strong on the St Augustine turf. The Bahia turf will soon begin its active growth. The broadleaf weed volume was low and they can be controlled via spot treatments. There was no insect activity in the turf, but patch disease was still present in a few locations. Several turf panels had heavy leaf drop which needs to be removed to prevent smothering of the turf.

Has pre-emergent herbicide been applied?

Clubhouse left front corner by large oak-treat patch disease. *Photo below.*



Belle Haven entry inside of gate-tree patch disease along the sidewalk.

Slidell entry drive at gate- treat disease activity. *Photo below.*



3 SHRUB/TREE INSECT/DISEASE CONTROL/OVERALL HEALTH

11645 Belle Haven median- some of the older Fakahatchee grass appears to have rotted out. It is recommended that these be replaced with Muhly grass as they are smaller, have fall color and less pest problems. *Photo below.*



Clubhouse right side fence line - remove staking material from Washingtonian palms.

Clubhouse front left corner -remove hollies against viburnum and schilling holly.

Moon Lake Road north of Belle Haven-continue to remove dead and declining plants along the wall.

Clubhouse right front corner-continue to monitor health of Washingtonia palm. The heart seems to be in decline, *Photo below.*

December



January



February



March



3 BED WEED CONTROL

Belle Haven entry gate remove bed weeds down to Creedmoor.

Slidell median at keypad and at gate - remove bad weeds.

Bed and crack weed control continued to be well managed.

2 IRRIGATION MANAGEMENT

Biddeford lift station – inspect system and make repairs to dripline.

11645 Belle Haven-repair dripline break.

Inside of Belle Haven entry gate - remove pinched drip lines from magnolia. *Photo below.*



Inside of Belle Haven entry gate- repair drip line break alongside sidewalk by azaleas.

Belle Haven main median exit side- repair irrigation brakes along the curb.

The landscape appears to be receiving sufficient irrigation.

3 SHRUB PRUNING

*It should be noted that the shrubs, including but not limited to, the hawthorns and schilling hollies, should not be pruned too tightly. This means that too much vegetative growth is being removed, limiting the plants availability to make food for itself. In addition, the plant will look more attractive by not having “holes” in it and allowing it to develop its more natural shape. (i.e. Indian Hawthorn has a natural mounded habit)

Most of the shrubs were neatly pruned and did not require pruning outside of the normal rotational cycle.

Clubhouse boat ramp driveway - prune dead sections out of holly hedge. *Photo below.*



Clubhouse left side - remove dead leaves from philodendron. *Photo below.*



3 TREE PRUNING

Clubhouse left side pond- remove moss from magnolias up to contractual height.

Clubhouse parking lot north end of fence line - remove broken fronds from palm trees.

Clubhouse left side - elevate maple tree to get more separation between schilling Holly and philodendron. *Photo below.*



3 CLEANUP/RUBBISH REMOVAL

Boat ramp - remove vegetative debris.

There was not an excessive amount of vegetation or litter that needed to be removed.

3 APPEARANCE OF SEASONAL COLOR

The seasonal flower display of petunias was still providing good curb appeal in all locations. Most of the plants are healthy. Several of the petunias need to be deadheaded. *Photo below.*

March

March



February



February



January



January



(0) CARRIED FORWARD FROM PRIOR MONTH

INSPECTION SCORE 33 of 36 –Passing score is 30 of 36 or 28 of 33 (with no seasonal color.)

PASSED INSPECTION Payment for March services should be released after the receipt of the **DONE REPORT**.

FOR MANAGER

None

PROPOSALS

~~Bridgeton Park cut new beds and install 2 roebellini palms where sidewalk meets walkway to dock.~~

Moon Lake reclaimed water pipe-remove weeds tree growing within the large oak.

SUMMARY

ASI performed to contractual standards for this inspection. The turf is being neatly mowed edged and trimmed. Heavy leaf drop is in the process of being removed from turf. The color was generally a mottled medium green. The density of the St. Augustin turf remains strong. The broadleaf weed volume was low. There were no signs of insect activity, but a few areas still have patch disease. There was no significant insect or disease activity on the shrubs which are just beginning active growth. The shrub pruning appears to be on schedule. A few trees and palms need to be pruned and/or have moss removed. The bed and crack weed management was good throughout the property. A few irrigation issues need to be addressed. The landscape appears to be receiving sufficient irrigation. The seasonal flower display provided good curb appeal in all locations. The property is well positioned to go into the busy spring growing season.

ASI certifies that all work on this list has been completed in the 14-day timeframe specified in the contractual agreement and provided to PSA within the same period.

Signature _____

Print Name _____

Company _____

Date _____

Tab 4



Job Name: Wot's edge Updated 10/25/18

Controller Name: A

IRRIGATION INSPECTION REPORT

Date: 3/20/24 Page #: _____ of _____

Technician Name: _____

Property Manager: _____

30 min
 A. 5:00 AM BP #1 Program A
 B. 9:00 PM BP #2 Program B
 30 min
 Program C
 Program D
 Controller Make & Model: _____

Start Times:	Run Days:	Seasonal Adjust:
12:00 AM	(M T W T F S S)	100%
5:00 AM	(M T W T F S S)	100%
9:00 PM	(M T W T F S S)	100%
	M T W T F S S	%

Weather Sensor Present:
 YES NO
 Weather Sensor Operational:
 Working Not Working

Controller Status: WORKING NOT WORKING
 POC info: Potable Water Reclaim Water Well Water Lake Water
 Pump Status & Type: PRESSURIZED PUMP START CENTRIFUGAL SUBMERSIBLE

DO WE HAVE A ZONE MAP?
 YES NO

Zone Number	34	35	36	37	38	39	40	41										
Spray, Rotor, MP, Drip, or Bubbler			R	D	D													56
Annuals, Shrub, Turf			T	S	S													5
Run Time [Program: 1 A]																		48
Run Time [Program: 1 B]			45	60	60			60										
Run Time [Program: 1 C]																		
Battery Pack/Doubler/Add-a-Zone																		
Zone Faults or Alarms																		
Contract/Maintenance [No Charge]: <i>Circled items have been completed</i>																		30

Maintenance Repairs

Partial Clogged Nozzles																			
Head Straightened																			
Head Adjusted																			

Billable Repairs or Upgrades: *Circled items have been completed*

Head Broken - 6" spray																			
Head Broken - 12" spray																			
Head Broken - Riser																			
Head Broken- Rotor																			
Upgrade to 6" Pop Up-Turf																			
Upgrade to 12" Pop Up-Shrub																			
Nozzle - Spray																			
Nozzle - MP rotator																			
Drip Line Break																			
Lateral Line Break																			
Relocation/Add Head																			
Head Raised/Lowered-Turf																			
Head Raised/Lowered-Shrub																			
Damaged Valve Box																			
Valve - Inoperative/Sticking																			
Other-See Comments																			

Additional Comments:



Job Name: Waters Edge

Updated 10/25/18

Controller Name: A

IRRIGATION INSPECTION REPORT

Date: 07/20/21

Page #: _____ of _____

Technician Name: Jason

Property Manager: _____

Program	Start Times:	Run Days:	Seasonal Adjust:
Program A	7:00 PM	M T <u>W</u> T F <u>S</u> S	100 %
Program B	3 AM	M T W T F S S	%
Program C	7 PM	M T W T F S S	%
Program D	3 AM	M T W T F S S	%

Weather Sensor Present: YES NO

Weather Sensor Operational: Working Not Working

Controller Make & Model: Hunter ACC

Controller Status: WORKING

POC info:

Pump Status & Type:

WORKING		NOT WORKING	
Potable Water	Reclaim Water	Well Water	Lake Water
PRESSURIZED	PUMP START	CENTRIFUGAL	SUBMERSIBLE

DO WE HAVE A ZONE MAP?

YES

NO

Zone Number	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	
Spray, Rotor, MP, Drip, or Bubbler		80 R	S					S	D	S		R	S	D	D			
Annuals, Shrub, Turf			+ 15					+ 3	F			F	15	S	S			
Run Time [Program: <u>A-1</u>]		30	45	45								45						
Run Time [Program: <u>B-1</u>]																		
Run Time [Program: <u>C-1</u>]				30				30	30	30			30	30	40			
Battery Pack/Doubler/Add-a-Zone																		
Zone Faults or Alarms																		

Contract/Maintenance [No Charge]: *Circled items have been completed*

Maintenance Repairs																		
Partial Clogged Nozzles								(1)					(2)					
Head Straightened				(1)					(1)									
Head Adjusted				(3)									(2)					

Billable Repairs or Upgrades: *Circled items have been completed*

Head Broken - 6" spray																		
Head Broken - 12" spray																		
Head Broken - Riser																		
Head Broken- Rotor																		
Upgrade to 6" Pop Up-Turf																		
Upgrade to 12" Pop Up-Shrub																		
Nozzle - Spray																		
Nozzle - MP rotator																		
Drip Line Break									(2)					(3)				
Lateral Line Break																		
Relocation/Add Head																		
Head Raised/Lowered-Turf																		
Head Raised/Lowered-Shrub																		
Damaged Valve Box																		
Valve - Inoperative/Sticking																		
Other-See Comments																		

Additional Comments:

★ ZONES - 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17
WONT TURN ON



Job Name: Waters edge

Controller Name: A

IRRIGATION INSPECTION REPORT

Date: 03/20/24 Page #: _____ of _____

Technician Name: [Signature]

Property Manager: _____

Program	Start Times:	Run Days:	Seasonal Adjust:
Program A		M T W T F S S	%
Program B		M T W T F S S	%
Program C		M T W T F S S	%
Program D		M T W T F S S	%

Weather Sensor Present:
 YES NO
 Weather Sensor Operational:
 Working Not Working

Controller Make & Model: _____

Controller Status:	WORKING		NOT WORKING	
	Potable Water	Reclaim Water	Well Water	Lake Water
POC info:	PRESSURIZED	PUMP START	CENTRIFUGAL	SUBMERSIBLE

Pump Status & Type: _____

DO WE HAVE A ZONE MAP?
 YES
 NO

Zone Number	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33
Spray, Rotor, MP, Drip, or Bubbler						D	D	D	R	R	R				S	S
Annuals, Shrub, Turf						S	S	S	+	+	+				T	T
Run Time [Program: A]																
Run Time [Program: B]									45	35						
Run Time [Program: C]						30	30									
Battery Pack/Doubler/Add-a-Zone									30						30	
Zone Faults or Alarms							30	30							20	15

Contract/Maintenance [No Charge]: *Circled items have been completed*

Maintenance Repairs																
Partial Clogged Nozzles																
Head Straightened									(1)							
Head Adjusted										(2)						

Billable Repairs or Upgrades: *Circled items have been completed*

Head Broken - 6" spray																
Head Broken - 12" spray																
Head Broken - Riser																
Head Broken-Rotor																
Upgrade to 6" Pop Up-Turf																
Upgrade to 12" Pop Up-Shrub																
Nozzle - Spray																
Nozzle - MP rotator																
Drip Line Break							(4)	(8)								
Lateral Line Break																
Relocation/Add Head																
Head Raised/Lowered-Turf																
Head Raised/Lowered-Shrub																
Damaged Valve Box																
Valve - Inoperative/Sticking																
Other-See Comments																

Additional Comments: _____

[Signature]



ASI LANDSCAPE MANAGEMENT

Job Name: Water Edge

Updated 10/25/18

Controller Name: B = Club House

IRRIGATION INSPECTION REPORT

Date: 3/20/24 Page #: 1 of 3

Technician Name: JOH

Property Manager:

Program	Start Times	Run Days	Seasonal Adjust:
Program A	3 AM	M D W T F S S	100 %
Program B	7 PM	M D W T F S S	100 %
Program C	7 PM	M T W T F S S	100 %
Program D	7 PM	M T W T F S S	100 %

Weather Sensor Present: YES NO

Weather Sensor Operational: Working Not Working

Controller Make & Model: 2 year Hunter ACC2 0 100

Controller Status: WORKING NOT WORKING 2 wire

POC info: Potable Water Reclaim Water Well Water Lake Water

Pump Status & Type: PRESSURIZED PUMP START CENTRIFUGAL SUBMERSIBLE

DO WE HAVE A ZONE MAP?

YES NO

Zone Number	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
Spray, Rotor, MP, Drip, or Bubbler	R	D	D	R	S	D	S	S	D	D	R	D	S	R	R	D
Annuals, Shrub, Turf	T	S	S	T	T	S	T	T	S	S	T	S	T	T	T	S
Run Time [Program: A B]	35			35				15						35	35	
Run Time [Program: C D]		25	15		10	15	10		50	50	15	20	20			15
Run Time [Program: E]																
Battery Pack/Doubler/Add-a-Zone																
Zone Faults or Alarms																

Contract/Maintenance [No Charge]: *Circled items have been completed*

Maintenance Repairs																
Partial Clogged Nozzles																
Head Straightened																
Head Adjusted																

Billable Repairs or Upgrades: *Circled items have been completed*

Head Broken - 6" spray																
Head Broken - 12" spray																
Head Broken - Riser																
Head Broken- Rotor																
Upgrade to 6" Pop Up-Turf																
Upgrade to 12" Pop Up-Shrub																
Nozzle - Spray																
Nozzle - MP rotator																
Drip Line Break																
Lateral Line Break																
Relocation/Add Head																
Head Raised/Lowered-Turf																
Head Raised/Lowered-Shrub																
Damaged Valve Box																
Valve - Inoperative/Sticking																
Other-See Comments																

Additional Comments:



Job Name: Water Edge Updated 10/25/18

Controller Name: B = Club House

IRRIGATION INSPECTION REPORT

Date: 3/20/24 Page #: 2 of 3

Technician Name: Joe

Property Manager:

Program	Start Times:	Run Days:	Seasonal Adjust:
Program A		M T W T F S S	%
Program B		M T W T F S S	%
Program C		M T W T F S S	%
Program D		M T W T F S S	%

Weather Sensor Present:
 YES NO
 Weather Sensor Operational:
 Working Not Working

Controller Make & Model:

Controller Status:

POC info:

Pump Status & Type:

WORKING		NOT WORKING	
Potable Water	Reclaim Water	Well Water	Lake Water
PRESSURIZED	PUMP START	CENTRIFUGAL	SUBMERSIBLE

DO WE HAVE A ZONE MAP?
 YES
 NO

Zone Number	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32
Spray, Rotor, MP, Drip, or Bubblers	S	S	R	S	RMP	R	R		R	S	S			DMS	DMS	DMS
Annuals, Shrub, Turf	T	T	T	T	TS	T	T		S	T	T			SA	SA	SA
Run Time [Program: A]			35		35	35	35									
Run Time [Program: C]	20	20		20					25	20	20			25	25	25
Run Time [Program: I]														15	15	15
Battery Pack/Doubler/Add-a-Zone																
Zone Faults or Alarms																

Contract/Maintenance [No Charge]: *Circled items have been completed*

Maintenance Repairs																
Partial Clogged Nozzles																
Head Straightened																
Head Adjusted																

Billable Repairs or Upgrades: *Circled items have been completed*

Head Broken - 6" spray																
Head Broken - 12" spray																
Head Broken - Riser																
Head Broken - Rotor																
Upgrade to 6" Pop Up-Turf																
Upgrade to 12" Pop Up-Shrub																
Nozzle - Spray																
Nozzle - MP rotator																
Drip Line Break																
Lateral Line Break																
Relocation/Add Head																
Head Raised/Lowered-Turf																
Head Raised/Lowered-Shrub																
Damaged Valve Box																
Valve - Inoperative/Sticking																
Other-See Comments																

Additional Comments:



Job Name: Waters edge Updated 10/25/18

Controller Name: C = Lift Station

IRRIGATION INSPECTION REPORT

Date: 3/20/24 Page #: _____ of _____

Technician Name: MANNY

Property Manager: _____

Address:	Start Times:	Run Days:	Seasonal Adjust:	Working Weather Sensor Present:
<u>A</u>	<u>7 P.M.</u>	<u>(M) T (W) T F (S) S</u>	<u>1.00</u> %	<u>(YES)</u> NO
<u>B</u>	<u>12 A.M.</u>	<u>M T (W) T F (S) S</u>	<u>1.00</u> %	<u>(YES)</u> NO
		<u>M T W T F S S</u>	%	YES NO
		<u>M T W T F S S</u>	%	YES NO
		<u>M T W T F S S</u>	%	YES NO

CONTROLLER/METER NOTES:

Address:															
Zone Number	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
Spray, Rotor, MP, Drip, or Bubbler					<u>S</u>	<u>R</u>	<u>R</u>	<u>R</u>	<u>R</u>	<u>S</u>					
Annuals, Shrub, Turf					<u>T</u>	<u>T</u>	<u>T</u>	<u>T</u>	<u>T</u>	<u>T</u>					
Run Time [Program: <u>A1</u>]	<u>20</u>	<u>40</u>	<u>40</u>		<u>20</u>	<u>20</u>	<u>40</u>	<u>40</u>	<u>40</u>			<u>40</u>	<u>40</u>		
Run Time [Program: <u>B1</u>]										<u>20</u>	<u>40</u>			<u>20</u>	<u>20</u>
Battery Pack/Doubler/Add-a-Zone															
Zone Faults or Alarms															

Contract [No Charge]: *Circled items have been completed*

Maintenance Repairs															
Partial Clogged Nozzles															
Head Straightened															
Head Adjusted															

Billable Repairs or Upgrades: *Circled items have been completed*

Head Broken - 6" spray					<u>(1)</u>										
Head Broken - 12" spray															
Head Broken - Riser															
Head Broken- Rotor															
Upgrade to 6" Pop Up-Turf															
Upgrade to 12" Pop Up-Shrub															
Nozzle - Spray															
Nozzle - MP rotator															
Drip Line Break															
Lateral Line Break															
Relocation/Add Head															
Head Raised/Lowered-Turf															
Head Raised/Lowered-Shrub															
Damaged Valve Box															
Valve - Inoperative/Sticking	<u>I</u>	<u>I</u>	<u>I</u>								<u>I</u>	<u>I</u>	<u>I</u>	<u>I</u>	<u>I</u>
Other-See Comments					<u>OK</u>	<u>OK</u>	<u>OK</u>	<u>OK</u>	<u>OK</u>						

Additional Comments:



Job Name: Waters Edge

Controller Name: D-PARK

IRRIGATION INSPECTION REPORT

Date: 3/20/24

Page #: _____ of _____

Technician Name: Manny

Property Manager: _____

Address:	Start Times:	Run Days:	Seasonal Adjust:	Working Weather Sensor Present:	
	7 P.M.	M T <u>W</u> T F <u>S</u> S	100 %	<u>YES</u>	NO
		M T W T F S S	%	YES	NO
		M T W T F S S	%	YES	NO
		M T W T F S S	%	YES	NO
		M T W T F S S	%	YES	NO

CONTROLLER/METER NOTES:

RB ESP-ME3

Address:													
Zone Number	1	2	3	4	5	6	7	8	9	10	11	12	13
Spray, Rotor, MP, Drip, or Bubbler	S	S	R	R	R	R	R	R	R	S	R	R	S
Annuals, Shrub, Turf	T	T	TS	T	TS	TS	TS	T	TS	T	TS	TS	T
Run Time [Program: <u>A1</u>]	20	20	35	35	35	35	35	35	35	20	35	35	20
Run Time [Program: _____]													
Battery Pack/Doubler/Add-a-Zone													
Zone Faults or Alarms													

Contract [No Charge]: *Circled items have been completed*

Maintenance Repairs													
Partial Clogged Nozzles													
Head Straightened													
Head Adjusted													

Billable Repairs or Upgrades: *Circled items have been completed*

Head Broken - 6" spray													
Head Broken - 12" spray													
Head Broken - Riser													
Head Broken- Rotor													
Upgrade to 6" Pop Up-Turf													
Upgrade to 12" Pop Up-Shrub													
Nozzle - Spray													
Nozzle - MP rotator													
Drip Line Break													
Lateral Line Break													
Relocation/Add Head													
Head Raised/Lowered-Turf													
Head Raised/Lowered-Shrub													
Damaged Valve Box													
Valve - Inoperative/Sticking													
Other-See Comments	OK	OK	OK	OK	OK	OK	OK	OK	OK	OK	OK	OK	OK

Additional Comments:

Tab 5



5311 36th Avenue East
 Palmetto, FL 34221
 Phone (888) 90-MULCH
 Fax (941) 721-3525

SUBMITTED TO: Waters Edge CDD
 3434 Colwel Ave Unit 200
 Tampa FL 33614
 ATTN: Matthew Huber
Mhuber@rizzetta.com
 813 933 5571 ext 2772

Date : 3/15/2024

Project : Waters Edge New Port Richey

QTY	DESCRIPTION	UNIT PRICE	EXTENDED TOTAL
413	Pinebark 2' Nuggets (cubic yards) Installed in common areas including:E,F,G,H,B,C,D excluding the stepped retaining wall at pond AA1	47.50	19,617.50
7	Fuel Surcharge/tripp fee \$3 per loaded mile (65 miles)	195.00	1,365.00
		Total	20,982.50
Terms : 50% due upon commencement, remainder due upon completion			

ACCEPTED BY: _____

DATE: _____

ACCEPTED BY: _____

DATE: _____

Mulch Blowers Representative - Royce Dunnuck
 888-906-8524



Proposal #7422

Date: 2/22/2024

Customer:

Matthew Huber
 Rizzetta & Co.
 9019 Creedmoor Lane
 New Port Richey, FL 34654

Property:

Water's Edge CDD
 9019 Creedmoor Lane
 New Port Richey, FL 34654

Mulch Install Areas B, C, and D

We propose to install 70 yards of pine bark mulch in the CDD planter beds based on the map given by the CDD for Areas B, C, and D.

Mulch Install Areas B, C, and D

Mulch Install Areas B, C, and D

Items	Quantity	Unit	Price/Unit	Price
Pine Bark Nugget Mulch	70.00	YD	\$65.00	\$4,550.00
Mulch Install Areas B, C, and D:				\$4,550.00
PROJECT TOTAL:				\$4,550.00

Terms & Conditions

GENERAL TERMS AND CONDITIONS

PART 1: CONTRACTOR'S RESPONSIBILITY

The Contractor shall recognize and perform in accordance with written terms, written specifications and designs, contained or referred herein. The Contractor reserves the right to renegotiate or amend the contract when price or scope of work is affected by changes to any local, state, or federal law, regulation or ordinance that goes into effect after the contract is signed. **The pricing and scope reflected on this contract are valid for 45 (forty-five) days from date the contract proposal is generated. After 45 (forty-five) days if the contract proposal is not approved, then the contractor reserves the right to adjust the pricing and scope accordingly based on fluctuations in market pricing and availability or to void the proposal.**

A. Workforce: The Contractor shall assign a trained workforce with experience in the services being provided. The workforce will be presentable and identifiable at all times. All employees shall be competent and qualified, and U.S. citizens or legally authorized to work in the United States.

B. Landscape Materials: All materials shall conform to bid specifications. The Contractor will meet and comply with all Agricultural licensing and reporting requirements.

C. Warranties: Warranties provided by the Contractor for both product and labor are subject to the following terms and conditions:

I. If the Client has an existing landscape maintenance agreement **including both an automatic irrigation system and horticulture services** with the Contractor, the warranty shall be for **1 (one) year for all items included in the contract proposal except for sod/turf grass and/or annual flower plants** commencing on the day the work is completed and accepted by the Client. **The warranty shall be 30 (thirty) days for sod/turf grass and for annual flower plants commencing on the day the work is completed and accepted by the Client**

II. If the Client does not have an existing landscape maintenance agreement **including both an automatic irrigation system and horticulture services** with the Contractor, the warranty shall be for **6 (six) months for all items included in the contract proposal except for sod/turf grass and annual flower plants** commencing on the day the work is completed and accepted by the Client. **The warranty shall be 30 (thirty) days for sod/turf grass and annual flower plants commencing on the day the work is completed and accepted by the Client.**

III. If the Client enters into a landscape maintenance agreement **including both an automatic irrigation system and horticulture services** with the Contractor, either during or upon completion of the work, the Contractor will warranty the product per clause (1) above.

IV. If the Client cancels an existing landscape maintenance agreement **or any portion of the existing landscape maintenance agreement such as irrigation or horticulture services** with the Contractor within the first 6 (six) months of the warranty, the warranty shall only be in effect for the remaining time of the 6 (six) month period.

V. If the Contractor cancels an existing landscape maintenance agreement **or any portion of the existing**

landscape maintenance agreement such as irrigation or horticulture services with the Contractor after the first 6 (six) months of the warranty period, the warranty period will have ended.

D. Licenses and Permits: The Contractor will maintain a Landscape Contractor's license, as required by state or local law, and will comply with all other license and permit requirements of the county, state and federal governments, as well as all other requirements of law.

E. Taxes: The Contractor agrees to pay taxes applicable for its work under this contract, including sales tax on material supplied where applicable.

F. Insurances: The Contractor agrees to maintain General Liability Insurance, Automotive Liability Insurance, Workers' Compensation Insurance, and any other insurance at the Contractor's discretion or required by law. In addition, the Contractor will require the same of any sub-contractors and will provide proof of such upon Client request. The Contractor is also responsible for obtaining any licenses and/or permits required by law for activities on the Client's property.

G. Liability: It is understood and agreed that the Contractor is not liable for any damage of any kind that is not caused by the negligence of the Contractor, its agents or employees, including but not limited to: death or decline of plant materials due to improper selection, placement, planting or maintenance before the time of this contract; damage due to improper irrigation components in existence at the time of contract execution; exposed cables/wires or sprinkler components/lines normally found below the surface of the lawn; flooding, storm or wind damage; disease or damage to lawns or landscape plants caused by excessive irrigation or lack of water due to inoperative components provided it reported these to the Client, or irrigation restrictions imposed by Water Management District or civil authorities **or due to water supply issues and limitations that are the responsibility of the Water Management District or civil authorities;** damage caused by any item hidden in the landscape and not clearly guarded or marked; and damage due to vandalism; **failure of Client to provide proper irrigation or horticulture services and landscape maintenance or other necessary maintenance for newly installed plants and materials.** The Contractor is liable for any damage due to operation of equipment in performing the contract; complying with all laws pertaining to protected plant species such as the mangrove; damage to plant material due to improper horticulture practices; improper installation of irrigation system replacement components; and injury to non-target organisms in application of pesticides.

H. Subcontracts: The Contractor reserves the right to hire qualified subcontractors to perform specialized functions or work requiring specialized equipment.

I. Invoicing: The Contractor will invoice for the amount set forth under the prices and terms included in this contract under Section B: Terms of Payment. Any services rendered, that are in addition to or beyond the scope of work required by this contract shall be separately billed.

PART 2: CLIENT'S RESPONSIBILITY

A. Utilities Usage: The Client shall allow the Contractor usage of utilities if needed.

B. Jobsite Access: The Client shall allow access to all parts of the jobsite where the Contractor is to perform work required by this contract or other related functions, during normal business hours and at other reasonable times, and in the case of after-hours emergencies.

C. Payment: The Client shall review invoices submitted by the Contractor and payment shall be due upon completion of the work and receipt of invoice and considered delinquent if not paid accordingly. If not paid within forty-five (45) days, the Contractor reserves the right to suspend services by giving written notice for nonpayment.

D. Defects: The Client shall give the Contractor at least thirty (30) days to correct any problem or defect discovered in the performance of the work required under this contract. The Contractor may provide a deduction or offset at its discretion if defects are not correctable to the satisfaction of the Client.

PART 3: OTHER TERMS

The Client and the Contractor respectively, bind themselves, their partners, successors, assignees and legal representative to the other party with respect to all covenants of this contract. Neither the Client nor the Contractor, their partners, successors, assignees and legal representative shall assign, transfer or terminate any interest in this contract without the written consent of the other.

A. Termination: This contract may be terminated by the Contractor for nonpayment by the Client, upon written notice as stated above. In the event this contract is terminated early by either party, the Contractor shall be entitled to recover those unrecovered costs incurred through the date of termination, including a reasonable amount of overhead and profit, and any amount in excess of the monthly charges paid by the Client through the date of termination.

B. Controlling Law: The laws of Florida shall govern the validity, interpretation, construction, and performance of this contract. Each party hereby expressly consents to the personal jurisdiction, venue and convenience of, and the parties agree that any dispute arising hereunder will be heard in, the state and federal courts for the County of Hillsborough, Florida for any lawsuit arising from or related to this contract agreement. All references herein to the singular shall include the plural.

C. Legal Counsel: Each party has had (or has been advised to seek) independent legal counsel of their selection in the negotiation of this contract. Each party fully understands the facts and has been informed about their legal rights and obligations, including but not limited to the obligations of Florida Statutes regarding restrictive covenants and liquidated damages. Each party is signing this contract freely and voluntarily intending to be bound by it. Each party hereby knowingly, voluntarily, and intentionally waives any right either may have to a trial by jury with respect to any litigation related to or arising out of, under or in conjunction with this contract or Contractor's employment with Ameriscape USA, Inc.

D. Notice to Owner: The Contractor will furnish a Notice to Owner per Florida Statute 713.06 to protect the Contractor's lien rights in the event payment is not received for any job exceeding \$2,500.00.

E. Attorney's Fees: In the event a dispute arises between the parties hereto and suit is instituted, the prevailing party in such litigation shall be entitled to recover reasonable attorney fees and other costs and expenses from the non-prevailing party, whether incurred at the trial level or in any appellate proceeding. If the Contractor seeks counsel for nonpayment issues and an agreement is reached before a suit/trial those attorney fees can also be recovered.

By _____

James Wade

Date 2/22/2024

ASI Landscape Management

By _____

Date _____

Water's Edge CDD



Proposal #7423

Date: 2/22/2024

Customer:

Matthew Huber
 Rizzetta & Co.
 9019 Creedmoor Lane
 New Port Richey, FL 34654

Property:

Water's Edge CDD
 9019 Creedmoor Lane
 New Port Richey, FL 34654

Mulch Install Areas E, F, G, and H

We propose to install 195 yards of pine bark mulch in the CDD planter beds based on the map given by the CDD for Areas E, F, G, and H.

Mulch Install Areas E, F, G, and H

Mulch Install Areas E, F, G, and H

Items	Quantity	Unit	Price/Unit	Price
Pine Bark Nugget Mulch	195.00	YD	\$65.00	\$12,675.00
Mulch Install Areas E, F, G, and H:				\$12,675.00
PROJECT TOTAL:				\$12,675.00

Terms & Conditions

GENERAL TERMS AND CONDITIONS

PART 1: CONTRACTOR'S RESPONSIBILITY

The Contractor shall recognize and perform in accordance with written terms, written specifications and designs, contained or referred herein. The Contractor reserves the right to renegotiate or amend the contract when price or scope of work is affected by changes to any local, state, or federal law, regulation or ordinance that goes into effect after the contract is signed. **The pricing and scope reflected on this contract are valid for 45 (forty-five) days from date the contract proposal is generated. After 45 (forty-five) days if the contract proposal is not approved, then the contractor reserves the right to adjust the pricing and scope accordingly based on fluctuations in market pricing and availability or to void the proposal.**

A. Workforce: The Contractor shall assign a trained workforce with experience in the services being provided. The workforce will be presentable and identifiable at all times. All employees shall be competent and qualified, and U.S. citizens or legally authorized to work in the United States.

B. Landscape Materials: All materials shall conform to bid specifications. The Contractor will meet and comply with all Agricultural licensing and reporting requirements.

C. Warranties: Warranties provided by the Contractor for both product and labor are subject to the following terms and conditions:

I. If the Client has an existing landscape maintenance agreement **including both an automatic irrigation system and horticulture services** with the Contractor, the warranty shall be for **1 (one) year for all items included in the contract proposal except for sod/turf grass and/or annual flower plants** commencing on the day the work is completed and accepted by the Client. **The warranty shall be 30 (thirty) days for sod/turf grass and for annual flower plants commencing on the day the work is completed and accepted by the Client**

II. If the Client does not have an existing landscape maintenance agreement **including both an automatic irrigation system and horticulture services** with the Contractor, the warranty shall be for **6 (six) months for all items included in the contract proposal except for sod/turf grass and annual flower plants** commencing on the day the work is completed and accepted by the Client. **The warranty shall be 30 (thirty) days for sod/turf grass and annual flower plants commencing on the day the work is completed and accepted by the Client.**

III. If the Client enters into a landscape maintenance agreement **including both an automatic irrigation system and horticulture services** with the Contractor, either during or upon completion of the work, the Contractor will warranty the product per clause (1) above.

IV. If the Client cancels an existing landscape maintenance agreement **or any portion of the existing landscape maintenance agreement such as irrigation or horticulture services** with the Contractor within the first 6 (six) months of the warranty, the warranty shall only be in effect for the remaining time of the 6 (six) month period.

V. If the Contractor cancels an existing landscape maintenance agreement **or any portion of the existing**

landscape maintenance agreement such as irrigation or horticulture services with the Contractor after the first 6 (six) months of the warranty period, the warranty period will have ended.

D. Licenses and Permits: The Contractor will maintain a Landscape Contractor's license, as required by state or local law, and will comply with all other license and permit requirements of the county, state and federal governments, as well as all other requirements of law.

E. Taxes: The Contractor agrees to pay taxes applicable for its work under this contract, including sales tax on material supplied where applicable.

F. Insurances: The Contractor agrees to maintain General Liability Insurance, Automotive Liability Insurance, Workers' Compensation Insurance, and any other insurance at the Contractor's discretion or required by law. In addition, the Contractor will require the same of any sub-contractors and will provide proof of such upon Client request. The Contractor is also responsible for obtaining any licenses and/or permits required by law for activities on the Client's property.

G. Liability: It is understood and agreed that the Contractor is not liable for any damage of any kind that is not caused by the negligence of the Contractor, its agents or employees, including but not limited to: death or decline of plant materials due to improper selection, placement, planting or maintenance before the time of this contract; damage due to improper irrigation components in existence at the time of contract execution; exposed cables/wires or sprinkler components/lines normally found below the surface of the lawn; flooding, storm or wind damage; disease or damage to lawns or landscape plants caused by excessive irrigation or lack of water due to inoperative components provided it reported these to the Client, or irrigation restrictions imposed by Water Management District or civil authorities **or due to water supply issues and limitations that are the responsibility of the Water Management District or civil authorities;** damage caused by any item hidden in the landscape and not clearly guarded or marked; and damage due to vandalism; **failure of Client to provide proper irrigation or horticulture services and landscape maintenance or other necessary maintenance for newly installed plants and materials.** The Contractor is liable for any damage due to operation of equipment in performing the contract; complying with all laws pertaining to protected plant species such as the mangrove; damage to plant material due to improper horticulture practices; improper installation of irrigation system replacement components; and injury to non-target organisms in application of pesticides.

H. Subcontracts: The Contractor reserves the right to hire qualified subcontractors to perform specialized functions or work requiring specialized equipment.

I. Invoicing: The Contractor will invoice for the amount set forth under the prices and terms included in this contract under Section B: Terms of Payment. Any services rendered, that are in addition to or beyond the scope of work required by this contract shall be separately billed.

PART 2: CLIENT'S RESPONSIBILITY

A. Utilities Usage: The Client shall allow the Contractor usage of utilities if needed.

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D. Defects: The Client shall give the Contractor at least thirty (30) days to correct any problem or defect discovered in the performance of the work required under this contract. The Contractor may provide a deduction or offset at its discretion if defects are not correctable to the satisfaction of the Client.

PART 3: OTHER TERMS

The Client and the Contractor respectively, bind themselves, their partners, successors, assignees and legal representative to the other party with respect to all covenants of this contract. Neither the Client nor the Contractor, their partners, successors, assignees and legal representative shall assign, transfer or terminate any interest in this contract without the written consent of the other.

A. Termination: This contract may be terminated by the Contractor for nonpayment by the Client, upon written notice as stated above. In the event this contract is terminated early by either party, the Contractor shall be entitled to recover those unrecovered costs incurred through the date of termination, including a reasonable amount of overhead and profit, and any amount in excess of the monthly charges paid by the Client through the date of termination.

B. Controlling Law: The laws of Florida shall govern the validity, interpretation, construction, and performance of this contract. Each party hereby expressly consents to the personal jurisdiction, venue and convenience of, and the parties agree that any dispute arising hereunder will be heard in, the state and federal courts for the County of Hillsborough, Florida for any lawsuit arising from or related to this contract agreement. All references herein to the singular shall include the plural.

C. Legal Counsel: Each party has had (or has been advised to seek) independent legal counsel of their selection in the negotiation of this contract. Each party fully understands the facts and has been informed about their legal rights and obligations, including but not limited to the obligations of Florida Statutes regarding restrictive covenants and liquidated damages. Each party is signing this contract freely and voluntarily intending to be bound by it. Each party hereby knowingly, voluntarily, and intentionally waives any right either may have to a trial by jury with respect to any litigation related to or arising out of, under or in conjunction with this contract or Contractor's employment with Ameriscape USA, Inc.

D. Notice to Owner: The Contractor will furnish a Notice to Owner per Florida Statute 713.06 to protect the Contractor's lien rights in the event payment is not received for any job exceeding \$2,500.00.

E. Attorney's Fees: In the event a dispute arises between the parties hereto and suit is instituted, the prevailing party in such litigation shall be entitled to recover reasonable attorney fees and other costs and expenses from the non-prevailing party, whether incurred at the trial level or in any appellate proceeding. If the Contractor seeks counsel for nonpayment issues and an agreement is reached before a suit/trial those attorney fees can also be recovered.

By _____

James Wade

Date 2/22/2024

ASI Landscape Management

By _____

Date _____

Water's Edge CDD



Proposal #7424

Date: 2/22/2024

Customer:

Matthew Huber
 Rizzetta & Co.
 9019 Creedmoor Lane
 New Port Richey, FL 34654

Property:

Water's Edge CDD
 9019 Creedmoor Lane
 New Port Richey, FL 34654

Pine Straw Install Belle Haven Entrance

We propose to install 330 yards of pine straw in the CDD planter beds on the berm and the stair step walls behind the pond at the Belle Haven entrance.

Pine Straw Install Belle Haven Entrance

Pine Straw Install Belle Haven Entrance

Items	Quantity	Unit	Price/Unit	Price
Pine Straw - Bale	330.00	ea	\$9.50	\$3,135.00
Pine Straw Install Belle Haven Entrance:				\$3,135.00
			PROJECT TOTAL:	\$3,135.00

Terms & Conditions

GENERAL TERMS AND CONDITIONS

PART 1: CONTRACTOR'S RESPONSIBILITY

The Contractor shall recognize and perform in accordance with written terms, written specifications and designs, contained or referred herein. The Contractor reserves the right to renegotiate or amend the contract when price or scope of work is affected by changes to any local, state, or federal law, regulation or ordinance that goes into effect after the contract is signed. **The pricing and scope reflected on this contract are valid for 45 (forty-five) days from date the contract proposal is generated. After 45 (forty-five) days if the contract proposal is not approved, then the contractor reserves the right to adjust the pricing and scope accordingly based on fluctuations in market pricing and availability or to void the proposal.**

A. Workforce: The Contractor shall assign a trained workforce with experience in the services being provided. The workforce will be presentable and identifiable at all times. All employees shall be competent and qualified, and U.S. citizens or legally authorized to work in the United States.

B. Landscape Materials: All materials shall conform to bid specifications. The Contractor will meet and comply with all Agricultural licensing and reporting requirements.

C. Warranties: Warranties provided by the Contractor for both product and labor are subject to the following terms and conditions:

I. If the Client has an existing landscape maintenance agreement **including both an automatic irrigation system and horticulture services** with the Contractor, the warranty shall be for **1 (one) year for all items included in the contract proposal except for sod/turf grass and/or annual flower plants** commencing on the day the work is completed and accepted by the Client. **The warranty shall be 30 (thirty) days for sod/turf grass and for annual flower plants commencing on the day the work is completed and accepted by the Client**

II. If the Client does not have an existing landscape maintenance agreement **including both an automatic irrigation system and horticulture services** with the Contractor, the warranty shall be for **6 (six) months for all items included in the contract proposal except for sod/turf grass and annual flower plants** commencing on the day the work is completed and accepted by the Client. **The warranty shall be 30 (thirty) days for sod/turf grass and annual flower plants commencing on the day the work is completed and accepted by the Client.**

III. If the Client enters into a landscape maintenance agreement **including both an automatic irrigation system and horticulture services** with the Contractor, either during or upon completion of the work, the Contractor will warranty the product per clause (1) above.

IV. If the Client cancels an existing landscape maintenance agreement **or any portion of the existing landscape maintenance agreement such as irrigation or horticulture services** with the Contractor within the first 6 (six) months of the warranty, the warranty shall only be in effect for the remaining time of the 6 (six) month period.

V. If the Contractor cancels an existing landscape maintenance agreement **or any portion of the existing**

landscape maintenance agreement such as irrigation or horticulture services with the Contractor after the first 6 (six) months of the warranty period, the warranty period will have ended.

D. Licenses and Permits: The Contractor will maintain a Landscape Contractor's license, as required by state or local law, and will comply with all other license and permit requirements of the county, state and federal governments, as well as all other requirements of law.

E. Taxes: The Contractor agrees to pay taxes applicable for its work under this contract, including sales tax on material supplied where applicable.

F. Insurances: The Contractor agrees to maintain General Liability Insurance, Automotive Liability Insurance, Workers' Compensation Insurance, and any other insurance at the Contractor's discretion or required by law. In addition, the Contractor will require the same of any sub-contractors and will provide proof of such upon Client request. The Contractor is also responsible for obtaining any licenses and/or permits required by law for activities on the Client's property.

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PART 3: OTHER TERMS

The Client and the Contractor respectively, bind themselves, their partners, successors, assignees and legal representative to the other party with respect to all covenants of this contract. Neither the Client nor the Contractor, their partners, successors, assignees and legal representative shall assign, transfer or terminate any interest in this contract without the written consent of the other.

A. Termination: This contract may be terminated by the Contractor for nonpayment by the Client, upon written notice as stated above. In the event this contract is terminated early by either party, the Contractor shall be entitled to recover those unrecovered costs incurred through the date of termination, including a reasonable amount of overhead and profit, and any amount in excess of the monthly charges paid by the Client through the date of termination.

B. Controlling Law: The laws of Florida shall govern the validity, interpretation, construction, and performance of this contract. Each party hereby expressly consents to the personal jurisdiction, venue and convenience of, and the parties agree that any dispute arising hereunder will be heard in, the state and federal courts for the County of Hillsborough, Florida for any lawsuit arising from or related to this contract agreement. All references herein to the singular shall include the plural.

C. Legal Counsel: Each party has had (or has been advised to seek) independent legal counsel of their selection in the negotiation of this contract. Each party fully understands the facts and has been informed about their legal rights and obligations, including but not limited to the obligations of Florida Statutes regarding restrictive covenants and liquidated damages. Each party is signing this contract freely and voluntarily intending to be bound by it. Each party hereby knowingly, voluntarily, and intentionally waives any right either may have to a trial by jury with respect to any litigation related to or arising out of, under or in conjunction with this contract or Contractor's employment with Ameriscape USA, Inc.

D. Notice to Owner: The Contractor will furnish a Notice to Owner per Florida Statute 713.06 to protect the Contractor's lien rights in the event payment is not received for any job exceeding \$2,500.00.

E. Attorney's Fees: In the event a dispute arises between the parties hereto and suit is instituted, the prevailing party in such litigation shall be entitled to recover reasonable attorney fees and other costs and expenses from the non-prevailing party, whether incurred at the trial level or in any appellate proceeding. If the Contractor seeks counsel for nonpayment issues and an agreement is reached before a suit/trial those attorney fees can also be recovered.

By _____

James Wade

Date 2/22/2024

ASI Landscape Management

By _____

Date _____

Water's Edge CDD

From: Steve Richards

Sent: Tuesday, March 19, 2024 2:02 PM

To: Matthew E. Huber

Subject: Water Edge CDD - Estimate from iMulchFL, Inc.

I calculated 225yds for the areas that were identified for pine bark
I also adjusted the price per yard.
Pine bark is \$49 per yd and shredded mulch is \$47 per
Certified playground mulch is \$45 per yd

Kind regards,

Steve Richards

iMulchFL, Inc.

www.imulchfl.com

Estimate

EST-002372



iMULCHFL.com
INSTALLATION SERVICES

iMulchFL, Inc.

210 N. Tubbs St #569
Oakland 34760
(407) 490-9799
www.imulchfl.com

Bill To

Waters Edge CDD

Matthew Huber

MHuber@rizzetta.com

Estimate Date :

01/22/2024

Mulch Type & Service Notes	Yards	Rate	Amount
Installation of Pine Bark Mulch	225.00	49.00	11,025.00
		Sub Total	11,025.00
		Total	\$11,025.00

Notes

Looking forward for your business.

Terms & Conditions

Please indicate authorization to commence installation by signing below and emailing back to info@imulchfl.com

Authorized By: _____

PO# (if needed): _____

Date: _____

Authorized Signature _____

Tab 6



Proposal #7614

Date: 3/12/2024

Customer:

Matthew Huber
 Rizzetta & Co.
 9019 Creedmoor Lane
 New Port Richey, FL 34654

Property:

Water's Edge CDD
 9019 Creedmoor Lane
 New Port Richey, FL 34654

Plant Cutbacks For The Painters Revised to Include Spraying Round Up

We propose to cutback the plant material away from the walls designated in the maps provided by the CDD and spray Round up in between the wall sections.

Plant Cutbacks For The Painters

Plant Cutbacks For The Painters

Items	Quantity	Unit	Price/Unit	Price
Labor - Supervisor				\$980.00
Labor - General Labor				\$1,050.00
Hauling and Dumping	5.00	CY	\$65.00	\$325.00
Plant Cutbacks For The Painters:				\$2,355.00
PROJECT TOTAL:				\$2,355.00

Terms & Conditions

GENERAL TERMS AND CONDITIONS

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A. Workforce: The Contractor shall assign a trained workforce with experience in the services being provided. The workforce will be presentable and identifiable at all times. All employees shall be competent and qualified, and U.S. citizens or legally authorized to work in the United States.

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E. Attorney's Fees: In the event a dispute arises between the parties hereto and suit is instituted, the prevailing party in such litigation shall be entitled to recover reasonable attorney fees and other costs and expenses from the non-prevailing party, whether incurred at the trial level or in any appellate proceeding. If the Contractor seeks counsel for nonpayment issues and an agreement is reached before a suit/trial those attorney fees can also be recovered.

By _____

James Wade

Date 3/12/2024

ASI Landscape Management

By _____

Date _____

Water's Edge CDD

Tab 7



An Equal
Opportunity
Employer

Southwest Florida Water Management District

2379 Broad Street, Brooksville, Florida 34604-6899
(352) 796-7211 or 1-800-423-1476 (FL only)
SUNCOM 628-4150 TDD only 1-800-231-6103 (FL only)
On the Internet at: WaterMatters.org

Bartow Service Office
170 Century Boulevard
Bartow, Florida 33830-7700
(863) 534-1448 or
1-800-492-7862 (FL only)

Sarasota Service Office
78 Sarasota Center Boulevard
Sarasota, Florida 34240-9770
(941) 377-3722 or
1-800-320-3503 (FL only)

Tampa Service Office
7601 Highway 301 North
Tampa, Florida 33637-6759
(813) 985-7481 or
1-800-836-0797 (FL only)

February 29, 2024

Waters Edge CDD/Attn: Joe Roethke
3434 Colwell Avenue, Ste. 200
Tampa, FL 33614-8390



Subject: Required Permit Data
Water Use Permit No: 20 012754.005
Project/Site Name: Waters Edge

Dear Permittee:

The above referenced Water Use Permit has special condition(s) requiring the reporting of specific data in a timely manner. As of this date, the enclosed listing represents data not yet received.

Please submit the required information within 30 days. If the information has been submitted timely and you are receiving this letter, your data may still be in process or there may be a data discrepancy that will not allow the data to be entered as submitted. Please contact us to resolve any discrepancies.

We now offer Permittees and their delegates the ability to submit this data via the Internet, through the Permit Information Center (PIC). Please visit our website at www.watermatters.org if you would like to set up an account or to log in to your account if you already have one.

If you need assistance or have any questions concerning your permit, please contact the Water Use Permit Bureau in the Tampa Service Office at (813)985-7481 or 1-800-836-0797 (Florida only).

Sincerely,

Water Use Permit Bureau
Regulation Division

Enclosure: As stated
cc: File of Record

WUP No: 20 012754.005

District ID	User ID	Serial #	Record Due Date	Submittal Due Date	Condition Code	Condition Description
0002	Main		01/2024	02/2024	650	METER ACCURACY TEST
0003	W-1		01/2024	02/2024	650	METER ACCURACY TEST
0052	W-3		01/2024	02/2024	650	METER ACCURACY TEST
0053	W-4		01/2024	02/2024	650	METER ACCURACY TEST
0055	Reclaim		01/2024	02/2024	650	METER ACCURACY TEST



GHS Environmental

**PO Box 55802
St. Petersburg, FL 33732-5802
727-667-6786**

March 18, 2024

Waters Edge CDD
Attn: Matthew Huber
Rizetta & Company
mhuber@rizetta.com
813-933-5571 ext. 2772

**Re.: Waters Edge CDD - WUP #12754.005 Compliance
GHS Proposal #: 13-124;2024**

Dear Mr. Huber,

The Waters Edge community has a Water Use Permit (WUP) issued by the Southwest Florida Water Management District (SWFWMD) under permit #12754, Revision .005. There are several special conditions within the WUP that require additional services to stay in compliance with the permit. This proposal is specifically for services that cover Special Conditions associated WUP #12754.005.

Conditions 18, 19, and 20 require withdrawals to be metered, recorded, and submitted to SWFWMD on or before the 10th of the month. All existing withdrawals are metered. GHS staff will record and submit meter readings to SWFWMD for 2024. The above task will be completed for a monthly fee of \$150.00 with a yearly total of **\$1,800**.

Conditions 18 and 19 require the meters to be tested for accuracy every five years. DID #2, #3, #52, #53, and #55 are due in 2024. GHS can perform this testing on all five (5) withdrawals for **\$1,750**.

Task Description		Subtotal
TASK 1	Conditions 18-20: Monthly Meter Readings	\$1,800
TASK 2	Condition 18-20: Meter Accuracy Testing	\$1,750
GRAND TOTAL		\$3,550

We greatly appreciate the opportunity to submit this proposal to you for consideration. Please do not hesitate to call us at (727) 667-6786 with any questions you might have concerning this proposal. If this proposal meets with your approval, GHS would appreciate you indicating your acceptance by signing this page where indicated and returning the signed copy to us or email it to sami@ghsenvironmental.com. In closing, we appreciate being asked to provide assistance and look forward to working with you.

Sincerely,
GHS Environmental

Sami Haynie
Project & Field Services Manager

Accepted by:

Signature

Date

Tab 8

MINUTES OF MEETING

Each person who decides to appeal any decision made by the Board with respect to any matter considered at the meeting is advised that the person may need to ensure that a verbatim record of the proceedings is made, including the testimony and evidence upon which such appeal is to be based.

**WATERS EDGE
COMMUNITY DEVELOPMENT DISTRICT**

The regular meeting of the Board of Supervisors of Waters Edge Community Development District was held on **Thursday, February 22, 2024, at 3:30 p.m.** at the Waters Edge Clubhouse, located at 9019 Creedmoor Lane, New Port Richey, FL 34654.

Present and constituting a quorum:

Teri Geney	Board Supervisor, Chairman
George Anastasopoulos	Board Supervisor, Vice Chairman
Timothy Haslett	Board Supervisor, Assistant Secretary
Jason Peterson	Board Supervisor, Assistant Secretary
Gabriel Papadopoulos	Board Supervisor, Assistant Secretary

Also present were:

Matthew Huber	Regional District Manager, Rizzetta & Co., Inc.
Michael Broadus	District Counsel, Straley, Robin & Vericker <i>(via phone)</i>
Frank Nolte	District Engineer, Stantec <i>(via phone)</i>
Tony Smith	Representative, Sitex Aquatics <i>(via phone)</i>

FIRST ORDER OF BUSINESS

Call to Order

Mr. Huber called the meeting to order and confirmed there was a quorum.

SECOND ORDER OF BUSINESS

Audience Comments on Agenda Items

There were no audience member present.

THIRD ORDER OF BUSINESS

Staff Reports

A. Monthly Aquatics Report

Mr. Smith presented his report to the Board. There were no questions or concerns.

B. District Engineer Report

Mr. Nolte spoke to the Board regarding the projects planned for the spring.

He reported that the Waters Edge 1 O&M permit is due September 30, 2024. He has completed the inspection. He will have proposals at the next meeting for the issues found.

C. District Counsel

Mr. Huber spoke to the Board about a claim that had been made against the CDD. Mr. Broadus stated that the District had received a notice this week for an incident from October 17, 2023.

D. PSA Inspection Reports

1. February Report

The Board reviewed the February Report. There were no questions or comments.

2. ASI Irrigation Inspection Report

The Board reviewed the ASI Irrigation Inspection Report. There were no questions or comments.

E. District Manager

Mr. Huber advised the Board that the next regularly scheduled meeting is March 28, 2024 at 5:00 pm

1. Presentation of Monthly Financial Report

The Board reviewed the Monthly Financial Report. There were no questions or comments.

FOURTH ORDER OF BUSINESS

Consideration of Mulch Proposals

Mr. Huber advised the Board he sent the revised mulch map out to the vendors. He will wait until all the proposals come in to discuss the proposals and how the Board wants to proceed.

FIFTH ORDER OF BUSINESS

Consideration of Wall EIFs Repair Proposals

Mr. Nolte discussed the perimeter wall proposals and why the repairs are needed.

The Board discussed the reserve study findings and what they felt was needed right away versus what could wait.

On a motion by Ms. Geney, seconded by Mr. Papadopoulos, with all in favor, the Board of Supervisors approved, the proposals from Specialized to do the base bid, monument repairs and the Slidell Sign, in the amount of \$125,086.00, for the Water's Edge Community Development District.

SIXTH ORDER OF BUSINESS

Discussion of Required Ethics Training (independent or as Advertised meeting)

The Board discussed the possibility of have two workshops to complete the required ethics training. The Board decided to table this discussion for now.

SEVENTH ORDER OF BUSINESS

Discussion of Tree Removal

The Board reviewed the pictures submitted from the homeowners. Mr. Huber stated he will advise the Homeowners to first follow the tree policy which is to trim vertically up across the property line.

EIGHTH ORDER OF BUSINESS

Consideration of Minutes of the Board of Supervisors' Regular Meeting held on January 31, 2024

On a motion by Mr. Papadopoulos, seconded by Mr. Haslett, with all in favor, the Board of Supervisors approved the minutes of the Board of Supervisors' regular meeting held on January 31, 2024, for the Water's Edge Community Development District.

NINETH ORDER OF BUSINESS

Ratification of Operation and Maintenance Expenditures For January 2024.

Mr. Haslett made note of 2 "Invoice Description" errors. Under Legal Services, it should read 11/15 and 12/8.

On a motion by Mr. Anastasopoulos, seconded by Mr. Peterson, with all in favor, the Board of Supervisors ratified the Operation and Maintenance Expenditures For January 2024 (\$93,688.46), for the Water's Edge Community Development District.

TENTH ORDER OF BUSINESS

**Audience Comments & Supervisor
Requests**

Mr. Haslett stated the reclaimed water accrual was \$7,000.00 and should be \$ 7,349.68 After that is revised the separation of fiscal year 2023 and 2024 will be complete.

Ms. Geney requested for Mr. Haslett to confirm the 2 ponds that were not treated to follow up with Sitex during his next walkthrough.

TWELFTH ORDER OF BUSINESS

Adjournment

Mr. Huber stated if there was no further business to come before the Board, a motion to adjourn would be in order.

On a Motion by Mr. Papadopoulos, seconded by Mr. Peterson, with all in favor, the Board of Supervisors adjourned the meeting at 5:16 p.m. for the Water's Edge Community Development District.

Secretary/Assistant Secretary

Chairman/Vice Chairman

Tab 9

Waters Edge Community Development District

District Office · Tampa, Florida · (813) 933-5771

Mailing Address · 3434 Colwell Avenue, Suite 200, Tampa · Florida 33614

www.watersedgecdd.org

Operations and Maintenance Expenditures February 2024 For Board Approval

Attached please find the check register listing the Operation and Maintenance expenditures paid from February 1, 2024 through February 29, 2024. This does not include expenditures previously approved by the Board.

The total items being presented: **\$45,289.18**

Approval of Expenditures:

_____ Chairperson

_____ Vice Chairperson

_____ Assistant Secretary

Waters Edge Community Development District

Paid Operation & Maintenance Expenditures

February 1, 2024 Through February 29, 2024

<u>Vendor Name</u>	<u>Check Number</u>	<u>Invoice Number</u>	<u>Invoice Description</u>	<u>Invoice Amount</u>
Enumerate	100296	INV11232	Engage SMA Subscription 02/24	\$ 206.90
Gabriel D Papadopoulos	100287	GP013124	Board of Supervisors Meeting 01/31/24	\$ 200.00
George Anastasopoulos	100288	GA013124	Board of Supervisors Meeting 01/31/24	\$ 200.00
GHS Environmental LLC	100300	2024-143	Monthly Meter Readings 01/24	\$ 142.00
Irrigation Technical Services, Inc.	100297	33018	Pump Station Maintenance 01/24	\$ 600.00
Irrigation Technical Services, Inc.	100298	32792	Water Management - Pump Station 01/24	\$ 550.00
Irrigation Technical Services, Inc.	100301	33017	Flow Meter Replacement 01/24	\$ 2,863.00
Jason Peterson	100289	JP013124	Board of Supervisors Meeting 01/31/24	\$ 200.00
Rizzetta & Company, Inc.	100286	INV0000087075	District Management Fees 02/24	\$ 4,331.83
Sitex Aquatics, LLC	100299	7972-B	Monthly Lake Maintenance 02/24	\$ 2,185.00
Sprinkler Solutions of Florida, Inc.	100293	1165	Well Pump Repair - 11406 Belle Haven Drive	\$ 11,630.77
Sprinkler Solutions of Florida, Inc.	100294	1164	Well Pump Repair -11428 Biddeford Place	\$ 6,228.43
Stantec Consulting Services, Inc.	100302	2199098	Engineering Services 02/24	\$ 4,180.00

Waters Edge Community Development District

Paid Operation & Maintenance Expenditures

February 1, 2024 Through February 29, 2024

<u>Vendor Name</u>	<u>Check Number</u>	<u>Invoice Number</u>	<u>Invoice Description</u>	<u>Invoice Amount</u>
Straley Robin Vericker	100295	24050	General Legal Services 12/23 - 01/24	\$ 2,175.00
Teri Lynn Geney	100290	TG013124	Board of Supervisors Meeting 01/31/24	\$ 200.00
Timothy M. Haslett	100291	TH013124	Board of Supervisors Meeting 01/31/24	\$ 200.00
Waters Edge Master HOA, Inc.	100292	020124	Shared Cost Landscape Services 01/24	\$ 7,474.00
Withlacoochee River Electric Cooperative, Inc.	ACH	2189378	Electric 2189378 01/24	\$ 76.97
Withlacoochee River Electric Cooperative, Inc.	ACH	2189381	Electric 2189381 01/24	\$ 40.16
Withlacoochee River Electric Cooperative, Inc.	ACH	2189382	Electric 2189382 01/24	\$ 40.16
Withlacoochee River Electric Cooperative, Inc.	ACH	2189383	Electric 2189383 01/24	\$ 40.16
Withlacoochee River Electric Cooperative, Inc.	ACH	2189384	Electric 2189384 01/24	<u>\$ 1,524.80</u>
Report Total				<u>\$ 45,289.18</u>

5540 Rio Vista Dr
Clearwater FL 33760-3107
United States

Invoice #: INV11232
Status: Open

Bill To

WatersEdge CDD
3434 COLWELL AVE.SUITE 200
Tampa FL 33614
United States

Date	Terms	Due Date
2/4/2024		2/4/2024

Item	Qty	Rate	Amount
Engage SMA Subscription Fee Service Period 2/4/2024 - 3/3/2024	1	\$206.90	\$206.90
Engage SMA Per Door Service Period 2/4/2024 - 3/3/2024	1	\$0.00	\$0.00

Subtotal	\$206.90
Tax Total (%)	\$0.00
Total	\$206.90
Amount Due	\$206.90



To pay by check, use remit address below:

TOPS Software of Florida, LLC Dba Enumerate
PO Box 952684
ATLANTA GA 31192-2684

For billing inquires, please email: billingteam@goenumerate.com

Waters Edge CDD
Meeting Date: January 31, 2024

SUPERVISOR PAY REQUEST

<u>Name of Board Supervisor</u>	<u>Check if paid</u>	
Teri Geney	X	TG013124
George Anastasopoulos	X	GA013124
<i>Gabe P.</i>	X	GP013124
Timothy Haslett	X	TH013124
Jason Peterson	X	JP013124

NOTE: Supervisors are only paid if checked.

RECEIVED
 02/01/24

EXTENDED MEETING TIMECARD

Meeting Start Time:	<i>5:00 PM</i>
Meeting End Time:	<i>7:30 PM</i>
Total Meeting Time:	<i>2.5 hours</i>

Time Over 3 Hours:	<i>0</i>
--------------------	----------

Total at \$175 per Hour:	<i>0</i>
--------------------------	----------

ADDITIONAL OR CONTINUED MEETING TIMECARD

Meeting Date:	<i>X</i>
Additional or Continued Meeting?	
Total Meeting Time:	
Total at \$175 per Hour:	

Business Mileage Round Trip	
IRS Rate per Mile	\$0.655
Mileage to Charge	

DM Signature: *M. Huber*



www.ghsenvironmental.com
 P.O. Box 55802
 St Petersburg, FL 33732

Invoice

Date: 2/12/2024
 Invoice #: 2024-143

To:

Waters Edge CDD
 5844 Old Pasco Rd.
 Suite 100
 Wesley Chapel, FL 33544

Project: Waters Edge

Proposal #: 13-124

P.O. #:

Due Date	Service Date:
3/13/2024	January 2024

Task #	Description	Project Compl...	Amount
Task 1	Monthly Meter Readings	8.33%	142.00

RECEIVED
 02/12/24

PAYMENT DUE WITHIN 30 DAYS OF INVOICING DATE	Total	\$142.00
<p>Please make all checks payable to GHS Environmental There will be a 10% charge per month on any payments received after the initial 30 days. If you have any questions concerning this invoice please contact us at 727-667-6786. THANK YOU FOR YOUR BUSINESS!</p>	Payments/Credits	\$0.00
	Balance Due	\$142.00



Irrigation Technical Services,
 3330 36th Avenue North
 St Petersburg FL 33713
 727-521-3320

Service Invoice

Invoice#: 33018
 Date: 02/02/2024
 Record#: 31783

Billed To: Waters Edge CDD
 c/o Rizzetta and Company
 5844 Old Pasco Road Suite 100
 Wesley Chapel FL 33544

Project: Waters Edge
 9019 Creedmoor Lane
 New Port Richey FL 34654

Due Date: 03/03/2024

Employee:

Order#:

Assembly#	Part#	Description	Quantity	Price	Ext Price	Sales Tax
		Waters Edge Pump PM	1.0000	600.000000	600.00	N

Notes:

Work completed on 1/31/2024
 ITS completed pump station maintenance.

For your convenience, Master Card and Visa are accepted for most payments.
 Call ITS at 727-521-3320 for details

Thank you for your prompt payment!

Non-Taxable Amount:	600.00
Taxable Amount:	0.00
Sales Tax:	0.00
Amount Due	600.00



Irrigation Technical Services,
 3330 36th Avenue North
 St Petersburg FL 33713
 727-521-3320

Service Invoice

Invoice#: 32792
 Date: 02/01/2024
 Record#: 31501

Billed To: Waters Edge CDD
 c/o Rizzetta and Company
 5844 Old Pasco Road Suite 100
 Wesley Chapel FL 33544

Project: Waters Edge
 9019 Creedmoor Lane
 New Port Richey FL 34654

Due Date: 03/02/2024

Employee:

Order#:

Assembly#	Part#	Description	Quantity	Price	Ext Price	Sales Tax
		Waters Edge Water Management January 2024	1.0000	550.000000	550.00	N

Notes:

For your convenience, Master Card and Visa are accepted for most payments.
 Call ITS at 727-521-3320 for details

Thank you for your prompt payment!

Non-Taxable Amount:	550.00
Taxable Amount:	0.00
Sales Tax:	0.00
Amount Due	550.00

RECEIVED
 02/01/24



Irrigation Technical Services,
 3330 36th Avenue North
 St Petersburg FL 33713
 727-521-3320

Service Invoice

Invoice#: 33017
 Date: 02/02/2024
 Record#: 31782

Billed To: Waters Edge CDD
 c/o Rizzetta and Company
 5844 Old Pasco Road Suite 100
 Wesley Chapel FL 33544

Project: Waters Edge
 9019 Creedmoor Lane
 New Port Richey FL 34654

Due Date: 03/03/2024

Employee:

Order#: Contract

Assembly#	Part#	Description	Quantity	Price	Ext Price	Sales Tax
		Waters Edge Flow Meter Replacement	1.0000	2,863.000000	2,863.00	N

Notes:

Work completed 1/31/2024
 ITS installed new flow meter for injection.

For your convenience, Master Card and Visa are accepted for most payments.
 Call ITS at 727-521-3320 for details

Thank you for your prompt payment!

Non-Taxable Amount:	2,863.00
Taxable Amount:	0.00
Sales Tax:	0.00
Amount Due	2,863.00



Rizzetta & Company, Inc.
 3434 Colwell Avenue
 Suite 200
 Tampa FL 33614

Invoice

Date	Invoice #
2/1/2024	INV0000087075

Bill To:

WATERS EDGE CDD - PC 3434 Colwell Avenue, Suite 200 Tampa FL 33614
--

Services for the month of	Terms	Client Number
February	Upon Receipt	00345

Description	Qty	Rate	Amount
Accounting Services	1.00	\$1,147.00	\$1,147.00
Administrative Services	1.00	\$430.08	\$430.08
Email Accounts, Admin & Maintenance	5.00	\$20.00	\$100.00
Financial & Revenue Collections	1.00	\$477.33	\$477.33
Management Services	1.00	\$2,077.42	\$2,077.42
Website Compliance & Management	1.00	\$100.00	\$100.00
		Subtotal	\$4,331.83
		Total	\$4,331.83

RECEIVED
 01/29/24

INVOICE

Sitex Aquatics, LLC
PO Box 917
Parrish, FL 34219

office@sitexaquatics.com
+1 (813) 564-2322



Waters Edge CDD

Bill to

Waters Edge CDD
3434 Colwell Ave, Ste 200
Tampa, FL 33614

Ship to

Waters Edge CDD
Rizzetta
3434 Colwell Ave, Ste 200
Tampa, FL 33614

Invoice details

Invoice no.: 7972-B
Terms: Net 30
Invoice date: 02/01/2024
Due date: 03/02/2024

#	Date	Product or service	SKU	Qty	Rate	Amount
1.		LM- Waters Edge CDD Monthly Lake Maintenance-52 Waterways		1	\$2,185.00	\$2,185.00

Total **\$2,185.00**

RECEIVED
02/01/24

Sprinkler Solutions of Fla. #SCC131152618
3422 Silver Meadow way
Plant City, FL 33566
8139675863
jeff@ssofia.com



Estimate

ADDRESS

Waters Edge
9019 Creedmoor Ln.
New Port Ritchey, Fl 34654

ESTIMATE # 1165
DATE 01/30/2024

outdoor - no enclosure

JOB SITE

11406 Belle Haven Dr

ACTIVITY

ACTIVITY	QTY	RATE	AMOUNT
Replace Defective 25 hp VFD Drive for Submersible pump			
25 HP Grundfos CUE 460 Volt VFD Drive	1	5,569.27	5,569.27
Grundfos Sine Wave Filter (45 Amp)	1	3,346.50	3,346.50
Miscellaneous Pump Parts	1	300.00	300.00
			Subtotal: 9,215.77
Pump Technician	16	135.00	2,160.00
Travel	3	85.00	255.00
			Subtotal: 2,415.00

TOTAL

\$11,630.77

Accepted By

Jeff Aloney

Accepted Date

1/31/24

BAUENBER \$ 11,009.00 ON 11/27/23

Sprinkler Solutions of Fla. #SCC131152818
3422 Silver Meadow way
Plant City, FL 33566
8139675863
jeff@ssofia.com



Estimate

ADDRESS
Waters Edge
9019 Creedmoor Ln.
New Port Richey, Fl 34654

ESTIMATE # 1164
DATE 01/30/2024

(interior) has own control panel

JOB SITE
11428 Biddeford place

ACTIVITY	QTY	RATE	AMOUNT
Replace Defective 25 hp VFD Drive for Submersible pump			
25 HP Franklin VFD Drive	1	4,253.43	4,253.43
Miscellaneous Pump Parts	1	100.00	100.00
			Subtotal: 4,353.43
Pump Technician	12	135.00	1,620.00
Travel	3	85.00	255.00

TOTAL **\$6,228.43**

Accepted By Arti Seney

Accepted Date 1/31/24

BAUERGER \$5,932.00 on 11/27/23

WATERS EDGE COMMUNITY DEVELOPMENT DISTRICT

District Office · Wesley Chapel, Florida (813) 933-5571
Mailing Address – 3434 Colwell Avenue, Suite 200, Tampa, Florida 33614
www.watersedgecdd.org

Check Request

Amount: \$6,228.43


Date: 01/30/2024

Payable to: Sprinkler Solutions of Fla.

Address: 3422 Silver Meadow Way
Plant City, FL 33566

Description: Well Pump Repair -11428 Biddeford Place

Requestor: Alexis Davis

Approver: 

Sprinkler Solutions of Fla. #SCC131152818
3422 Silver Meadow way
Plant City, FL 33566
8139675863
jeff@ssofia.com



Estimate

ADDRESS

Waters Edge
9019 Creedmoor Ln.
New Port Richey, Fl 34654

ESTIMATE # 1164

DATE 01/30/2024

(interior) has own control panel

JOB SITE

11428 Biddeford place

ACTIVITY

Replace Defective 25 hp VFD Drive for Submersible pump
25 HP Franklin VFD Drive
Miscellaneous Pump Parts

Pump Technician
Travel

QTY	RATE	AMOUNT
1	4,253.43	4,253.43
1	100.00	100.00
		Subtotal: 4,353.43
12	135.00	1,620.00
3	85.00	255.00

TOTAL

\$6,228.43

Accepted By

Justin Henry

Accepted Date

1/31/24

BAUERGER \$5,932.00 on 11/27/23



INVOICE

Invoice Number	2199098
Invoice Date	February 26, 2024
Customer Number	182723
Project Number	238200185

Bill To

Waters Edge Community Development District
Accounts Payable
12750 Citrus Park Lane
Suite 115
Tampa FL 33625
United States

Please Remit To

Stantec Consulting Services Inc. (SCSI)
13980 Collections Center Drive
Chicago IL 60693
United States
Federal Tax ID
11-2167170

Project Description: 0002380100 - WTR Waters Edge CDD

Stantec Project Manager:

Nolte, Frank

Current Invoice Due:

\$4,180.00

For Period Ending:

February 23, 2024

Net Due in 30 Days or in accordance with terms of the contract

INVOICE

Invoice Number

2199098

Project Number

238200185

Top Task 000A Waters Edge - General Consultation

Professional Services

Category/Employee	Hours	Rate	Current Amount
Nolte, Robert (Frank)	38.00	110.00	4,180.00
	<u>38.00</u>		<u>4,180.00</u>
Professional Services Subtotal	<u>38.00</u>		<u>4,180.00</u>

Top Task 000A Total **4,180.00**

Total Fees & Disbursements \$4,180.00

INVOICE TOTAL (USD) **\$4,180.00**

RECEIVED
02/27/24

Billing Backup - Roster

Date	Project	Task	Expnd Type	Employee Billing Title	Employee/Supplier	Quantity	Bill Rate	Bill Amount	Comment	AP Ref. #
2024-01-24	238200185	000A.000A	Direct - Regular	Designer	NOLTE, ROBERT (FRANK)	2.00	110.00	220.00	REVIEWING EASEMENT BLOCKAGES AND MAP UPDATES. REVIEWING EMAILS REGARDING LANDSCAPING REQUIREMENTS.	
2024-01-31	238200185	000A.000A	Direct - Regular	Designer	NOLTE, ROBERT (FRANK)	2.00	110.00	220.00	PREPARING FOR AND ATTENDING CDD MEETING	
2024-02-06	238200185	000A.000A	Direct - Regular	Designer	NOLTE, ROBERT (FRANK)	8.00	110.00	880.00	COMMUNITY WALL PAINTING PRE-PROPOSAL MEETING. SWFWMD O&M PERMIT REVIEW. COORDINATION WITH COUNTY FOR ASPHALT REPAIR ALONG MULTI-USE PATH.	
2024-02-07	238200185	000A.000A	Direct - Regular	Designer	NOLTE, ROBERT (FRANK)	2.00	110.00	220.00	SCANNING HARD COPY IRRIGATION AS-BUILT PLANS. COORDINATION WITH CONTRACTORS ON WALL REPAIR SCOPE	
2024-02-09	238200185	000A.000A	Direct - Regular	Designer	NOLTE, ROBERT (FRANK)	4.00	110.00	440.00	LANDSCAPE REMOVAL REPORT FOR COMMUNITY WALLS. COORDINATION WITH DISTRICT FOR IRRIGATION REPAIRS	
2024-02-12	238200185	000A.000A	Direct - Regular	Designer	NOLTE, ROBERT (FRANK)	2.00	110.00	220.00	COORDINATION WITH EIFS/STUCCO SPECIALISTS FOR PROPOSALS	
2024-02-13	238200185	000A.000A	Direct - Regular	Designer	NOLTE, ROBERT (FRANK)	4.00	110.00	440.00	LANDSCAPE RESPONSIBILITY MAP. COORDINATION WITH PASCO COUNTY AND ASI FOR IRRIGATION REPAIRS AND ASPHALT MULTI-USE PAVING	
2024-02-14	238200185	000A.000A	Direct - Regular	Designer	NOLTE, ROBERT (FRANK)	8.00	110.00	880.00	MEETING CONTRACTOR ON SITE TO REVIEW WALL REPAIRS, AND SCOPE. MET WITH PAINTING SPECIALIST TO OBTAIN PAINT USED FOR WALLS TO COLOR MATCH. O&M REPORT AND AGENDA ITEM PREPARATION.	
2024-02-21	238200185	000A.000A	Direct - Regular	Designer	NOLTE, ROBERT (FRANK)	1.00	110.00	110.00	REQUEST FROM BOARD MEMBER TO REVIEW PERIMETER LIGHTHOUSE COUNT BASED ON OWNERSHIP BOUNDARIES.	
2024-02-22	238200185	000A.000A	Direct - Regular	Designer	NOLTE, ROBERT (FRANK)	4.00	110.00	440.00	PREPARING WALL PAINTING AND REPAIR DISCUSSION OUTLINE, ATTENDING CDD MEETING.	
2024-02-23	238200185	000A.000A	Direct - Regular	Designer	NOLTE, ROBERT (FRANK)	1.00	110.00	110.00	REQUESTING PROPOSAL FROM ASI FOR LANDSCAPE REMOVAL NEAR PERIMETER WALLS.	
Total Labor:						38.00		\$4,180.00		
Total Project 238200185						38.00		\$4,180.00		

Straley Robin Vericker

1510 W. Cleveland Street

Tampa, FL 33606

Telephone (813) 223-9400

Federal Tax Id. - 20-1778458

WATERS EDGE CDD
C/O RIZZETTA & COMPANY
5844 OLD PASCO ROAD
SUITE 100
WESLEY CHAPEL, FL 33544

February 07, 2024
Client: 001219
Matter: 000001
Invoice #: 24050

Page: 1

RE: GENERAL

For Professional Services Rendered Through January 31, 2024

SERVICES

Date	Person	Description of Services	Hours	Amount
12/21/2023	MB	ATTENDANCE AT DISTRICT BOARD MEETING.	2.3	\$701.50
1/16/2024	LB	REVIEW CORRESPONDENCE FROM A. JONES RE CHANGE IN JANUARY MEETING DATE AND REQUEST FOR PUBLICATION AD FOR SAME; PREPARE DRAFT PUBLICATION AD FOR JANUARY 31, 2024 BOARD MEETING.	0.5	\$87.50
1/16/2024	MB	REVIEW CORRESPONDENCE FROM DISTRICT MANAGEMENT; ANALYZE FILE CORRESPONDENCE; ANALYZE DISTRICT WEBSITE; EVALUATE PUBLICATION FOR DISTRICT REGULAR MEETING DATE CHANGE.	0.4	\$122.00
1/22/2024	LB	PREPARE DRAFT QUARTERLY REPORT FOR PERIOD ENDED DECEMBER 31, 2023.	0.3	\$52.50
1/26/2024	MB	REVIEW DISTRICT SERIES 2015 REFUNDING BONDS; ANALYZE FILE CORRESPONDENCE; EVALUATE DISTRICT SERIES 2015 REFUNDING BONDS QUARTERLY REPORT FOR THE PERIOD ENDING DECEMBER 31, 2023.	0.4	\$122.00
1/29/2024	LB	FINALIZE QUARTERLY REPORT TO THE DISSEMINATION AGENT FOR QUARTER ENDED DECEMBER 31, 2023; PREPARE CORRESPONDENCE TO DISSEMINATION AGENT RE SAME.	0.3	\$52.50
1/30/2024	MB	REVIEW DISTRICT BOARD MEETING AGENGA PACKAGE; ANALYZE DISTRICT ENGINEER REPORT; ANALYZE DISTRICT BOARD OF SUPERVISOR RESUMES; ANALYZE DISTRICT LANDSCAPE REPORT; ANALYZE DISTRICT VENDOR PROPOSALS; ANALYZE DISTRICT FINANCIALS.	0.8	\$244.00
1/31/2024	MB	ATTENDANCE AT DISTRICT BOARD MEETING.	2.6	\$793.00

SERVICES

Date	Person	Description of Services	Hours	Amount
		Total Professional Services	7.6	\$2,175.00
		Total Services	\$2,175.00	
		Total Disbursements	\$0.00	
		Total Current Charges		\$2,175.00
		Previous Balance		\$6,205.00
		Less Payments		(\$6,205.00)
		PAY THIS AMOUNT		\$2,175.00

RECEIVED
02/07/24

Please Include Invoice Number on all Correspondence

INVOICE

2/1/2024

Waters Edge Master HOA, Inc.
c/o Management and Associates
720 Brooker Creek Blvd. #206 Oldsmar, FL 34677
Phone: (813) 433-2000

To:

Waters Edge CDD
5844 Old Pasco Road, Suite 100
Wesley Chapel, FL 33544

Due Upon Receipt

Page 1 of 1

<u>Quantity</u>	<u>Vendor</u>	<u>Inv #</u>	<u>Inv Date</u>	<u>Description</u>	<u>Amount</u>
1	Ameriscape	7555	1/1/2024	JANUARY LAWN SERVICE	\$ 5,725.60
				IRRIGATION	\$ 1,281.60
				TREE TRIMMING	\$ 214.80
				QUARTERLY FLOWER ROTATION	\$ -
				PEST CONTROL (AGRONOMY)	\$ -
1	PSA	1453	1/4/2024	JANUARY 4 INSPECTION	\$ 252.00
0	KEVIN L	NA	NA	Chlorine tab service- \$30.00/week- Kevin Labrum NO SERVICE PERFORMED JANUARY	\$ -
Total:					7,474.00

RECEIVED
02/01/24



9702 N Harney Rd
Thonotosassa, FL 33592

Invoice 7555


Date	PO#
01/01/24	
Sales Rep	Terms
House Account	Net 30

Bill To
Rocco Iervasi Water's Edge HOA 9019 Creedmoor Lane New Port Richey, FL 34654

Property Address
Water's Edge HOA 9019 Creedmoor Lane New Port Richey, FL 34654

Item	Qty / UOM	Rate	Ext. Price	Amount
#6989 - Landscape Management with Irrigation & Pruning January 2024				\$18,055.00

Description	Amount
General Maintenance	14,314.00
Irrigation Inspections	3,204.00
Hardwood Pruning	537.00

APPROVED 

ASSOC WAED

G/L # 8210-007

BK ACCT

OPER RESV

AMT 18055.00

Subtotal	\$18,055.00
Sales Tax	\$0.00
Total	\$18,055.00
Credits/Payments	(\$0.00)
Balance Due	\$18,055.00

Current	1-30 Days Past Due	31-60 Days Past Due	61-90 Days Past Due	90+ Days Past Due
\$18,413.05	\$7,950.00	\$0.00	\$0.00	\$0.00

INVOICE

PSA Horticultural
8431 Prestwick Pl
Trinity, FL 34655

tom@psagrounds.com
(727) 505-1532

PSA HORTICULTURAL

Water's Edge Homeowners Association C/O Management and Associates

Bill to

Water's Edge Homeowners Association C/O
Management and Associates
720 Brooker Creek Boulevard, Suite 206
Oldsmar, Florida 34677

Invoice details

Invoice no.: 1453
Terms: Net 30
Invoice date: 01/05/2024
Due date: 02/04/2024

#	Date	Product or service	SKU	Qty	Rate	Amount
1.	01/04/2024	Water's Edge Landscape Inspection January 2024 Landscape Inspection		1	\$630.00	\$630.00
Total						\$630.00

Note to customer

We truly appreciate your business!

PSA Services:
Specification Development
Landscape Inspections
Special Project Consulting

APPROVED	
ASSOC	W A E D
G/L #	8020 - 000
BK ACCT	
OPER	RESV
AMT	630.00



Your Touchstone Energy® Cooperative
P.O. Box 278 • Dade City, Florida 33526-0278

Account Number **2189378** Cycle 17
Meter Number 40547871
Customer Number 20096167
Customer Name WATERS EDGE CDD

Bill Date **01/25/2024**
Amount Due **76.97**
Current Charges Due **02/16/2024**

District Office Serving You
Bayonet Point

See Reverse Side For More Information

Service Address 11909 SLIDELL ST
Service Description PUMP
Service Classification General Service Non-Demand

ELECTRIC SERVICE							
From		To		Multiplier	Dem. Reading	KW Demand	kWh Used
Date	Reading	Date	Reading				
12/20	80739	01/22	81137				398

Comparative Usage Information		
Average kWh		
Period	Days	Per Day
Jan 2024	33	12
Dec 2023	30	13
Jan 2023	33	15

BILLS ARE DUE WHEN RENDERED
A 1.5 percent, but not less than \$5, late charge will apply to unpaid balances as of 5:00 p.m. on the due date shown on this bill.

Previous Balance 77.07
Payment 77.07CR
Balance Forward 0.00

Customer Charge 39.16
Energy Charge 398 KWH @ 0.05017 19.97
Fuel Adjustment 398 KWH @ 0.04000 15.92
FL Gross Receipts Tax 1.92

Total Current Charges 76.97
Total Due E.F.T. 76.97



2 0 0 9 6 1 6 7

You have 24-hour access to manage your account on-line through Smarthub at www.wrec.net. If you would like to make a payment using your credit card, please call 844-209-7166. This number is WREC's Secure Pay-By-Phone system.

DO NOT PAY
Total amount will be electronically transferred on or after 02/09/2024.



Your Touchstone Energy® Cooperative
P.O. Box 278 • Dade City, Florida 33526-0278

Please **Detach and Return** This Portion With Your Payment To Ensure Accurate Posting.

See Reverse Side For Mailing Instructions

Bill Date: 01/25/2024

District: BP17

Use above space for address change ONLY.

2189378 BP17
WATERS EDGE CDD
3434 COLWELL AVE STE 200
TAMPA FL 33614-8390

Electronic Funds Transfer on or after	02/09/2024
TOTAL CHARGES DUE	76.97
DO NOT PAY	

000218937800000769700000769700



Your Touchstone Energy® Cooperative
P.O. Box 278 • Dade City, Florida 33526-0278

Account Number **2189381** Cycle 17
Meter Number 62225547
Customer Number 20096167
Customer Name WATERS EDGE CDD

Bill Date **01/25/2024**
Amount Due **40.16**
Current Charges Due **02/16/2024**

District Office Serving You
Bayonet Point

See Reverse Side For More Information

Service Address 11406 BELLE HAVEN DR
Service Description WELL
Service Classification General Service Non-Demand

ELECTRIC SERVICE							
From		To		Multiplier	Dem. Reading	KW Demand	kWh Used
Date	Reading	Date	Reading				
12/20	11574	01/22	11574				0

Comparative Usage Information		
Average kWh		
Period	Days	Per Day
Jan 2024	33	0
Dec 2023	30	0
Jan 2023	33	0

BILLS ARE DUE WHEN RENDERED
A 1.5 percent, but not less than \$5, late charge will apply to unpaid balances as of 5:00 p.m. on the due date shown on this bill.

Previous Balance 40.16
Payment 40.16CR
Balance Forward 0.00

Customer Charge 39.16
FL Gross Receipts Tax 1.00

Total Current Charges 40.16
Total Due **E.F.T.** 40.16



2 0 0 9 6 1 6 7

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Your Touchstone Energy® Cooperative
P.O. Box 278 • Dade City, Florida 33526-0278

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Bill Date: 01/25/2024

District: BP17

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2189381 BP17
WATERS EDGE CDD
3434 COLWELL AVE STE 200
TAMPA FL 33614-8390

Electronic Funds Transfer on or after	02/09/2024
TOTAL CHARGES DUE	40.16
DO NOT PAY	

000218938100000401600000401605



Your Touchstone Energy® Cooperative
P.O. Box 278 • Dade City, Florida 33526-0278

Account Number **2189382** Cycle 17
Meter Number 62225594
Customer Number 20096167
Customer Name WATERS EDGE CDD

Bill Date **01/25/2024**
Amount Due **40.16**
Current Charges Due **02/16/2024**

District Office Serving You
Bayonet Point

See Reverse Side For More Information

Service Address 11430 BIDDEFORD PL
Service Description WELL
Service Classification General Service Non-Demand

ELECTRIC SERVICE							
From		To		Multiplier	Dem. Reading	KW Demand	kWh Used
Date	Reading	Date	Reading				
12/20	11434	01/22	11434				0

Comparative Usage Information		
Average kWh		
Period	Days	Per Day
Jan 2024	33	0
Dec 2023	30	0
Jan 2023	33	0

BILLS ARE DUE WHEN RENDERED
A 1.5 percent, but not less than \$5, late charge will apply to unpaid balances as of 5:00 p.m. on the due date shown on this bill.

Previous Balance 40.16
Payment 40.16CR
Balance Forward 0.00

Customer Charge 39.16
FL Gross Receipts Tax 1.00

Total Current Charges 40.16
Total Due **E.F.T.** 40.16



2 0 0 9 6 1 6 7

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DO NOT PAY
Total amount will be electronically transferred on or after 02/09/2024.



Your Touchstone Energy® Cooperative
P.O. Box 278 • Dade City, Florida 33526-0278

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See Reverse Side For Mailing Instructions

Bill Date: 01/25/2024

District: BP17

Use above space for address change ONLY.

2189382 BP17
WATERS EDGE CDD
3434 COLWELL AVE STE 200
TAMPA FL 33614-8390

Electronic Funds Transfer on or after	02/09/2024
TOTAL CHARGES DUE	40.16
DO NOT PAY	

000218938200000401600000401603



Your Touchstone Energy® Cooperative
P.O. Box 278 • Dade City, Florida 33526-0278

Account Number **2189383** Cycle 17
Meter Number 57179649
Customer Number 20096167
Customer Name WATERS EDGE CDD

Bill Date **01/25/2024**
Amount Due **40.16**
Current Charges Due **02/16/2024**

District Office Serving You
Bayonet Point

See Reverse Side For More Information

Service Address 9101 CREEDMOOR LN
Service Description PUMP
Service Classification General Service Non-Demand

ELECTRIC SERVICE							
From		To		Multiplier	Dem. Reading	KW Demand	kWh Used
Date	Reading	Date	Reading				
12/20	25045	01/22	25045				0

Comparative Usage Information
Average kWh

Period	Days	Per Day
Jan 2024	33	0
Dec 2023	30	0
Jan 2023	33	0

BILLS ARE DUE WHEN RENDERED
A 1.5 percent, but not less than \$5, late charge will apply to unpaid balances as of 5:00 p.m. on the due date shown on this bill.

Previous Balance		40.16
Payment	40.16CR	
Balance Forward		0.00
Customer Charge	39.16	
FL Gross Receipts Tax	1.00	
Total Current Charges		40.16
Total Due	E.F.T.	40.16



2 0 0 9 6 1 6 7

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DO NOT PAY
Total amount will be electronically transferred on or after 02/09/2024.



Your Touchstone Energy® Cooperative
P.O. Box 278 • Dade City, Florida 33526-0278

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See Reverse Side For Mailing Instructions

Bill Date: 01/25/2024

District: BP17

Use above space for address change ONLY.

2189383 BP17
WATERS EDGE CDD
3434 COLWELL AVE STE 200
TAMPA FL 33614-8390

Electronic Funds Transfer on or after	02/09/2024
TOTAL CHARGES DUE	40.16
DO NOT PAY	

000218938300000401600000401601



Your Touchstone Energy® Cooperative
P.O. Box 278 • Dade City, Florida 33526-0278

Account Number **2189384** Cycle 17
Meter Number 49382988
Customer Number 20096167
Customer Name WATERS EDGE CDD

Bill Date **01/25/2024**
Amount Due **1,524.80**
Current Charges Due **02/16/2024**

District Office Serving You
Bayonet Point

See Reverse Side For More Information

Service Address 9136 CREEDMOOR LN
Service Description WELL
Service Classification General Service Demand

ELECTRIC SERVICE								
From		To		Multiplier	Dem. Reading	KW Demand	kWh Used	
Date	Reading	Date	Reading					
12/20	23294	01/22	37376		79.51	80	14082	

Comparative Usage Information		
Average kWh		
Period	Days	Per Day
Jan 2024	33	427
Dec 2023	30	229
Jan 2023	33	458

BILLS ARE DUE WHEN RENDERED
A 1.5 percent, but not less than \$5, late charge will apply to unpaid balances as of 5:00 p.m. on the due date shown on this bill.

Previous Balance 1,025.58
Payment 1,025.58CR
Balance Forward 0.00



2 0 0 9 6 1 6 7

Customer Charge 44.16
Demand Charge 80 KW @ 6.15000 492.00
Energy Charge 14,082 KWH @ 0.02750 387.26
Fuel Adjustment 14,082 KWH @ 0.04000 563.28
FL Gross Receipts Tax 38.10

You have 24-hour access to manage your account on-line through Smarthub at www.wrec.net. If you would like to make a payment using your credit card, please call 844-209-7166. This number is WREC's Secure Pay-By-Phone system.

Total Current Charges 1,524.80
Total Due E.F.T. 1,524.80

DO NOT PAY
Total amount will be electronically transferred on or after 02/09/2024.



Your Touchstone Energy® Cooperative
P.O. Box 278 • Dade City, Florida 33526-0278

Please **Detach and Return** This Portion With Your Payment To Ensure Accurate Posting.

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Bill Date: 01/25/2024

District: BP17

Use above space for address change ONLY.

2189384 BP17
WATERS EDGE CDD
3434 COLWELL AVE STE 200
TAMPA FL 33614-8390

Electronic Funds Transfer on or after	02/09/2024
TOTAL CHARGES DUE	1,524.80
DO NOT PAY	

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